

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 markrogers914@gmail.com

COVER SHEET
 PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
 SNOWFLAKE, AZ 85937

SHEET NO:

CS

TOWN COUNCIL

BYRON LEWIS, MAYOR
 MARK SHEEN, VICE MAYOR
 REID STINNETT, COUNCIL MEMBER
 TRAVIS KAY, COUNCIL MEMBER
 CORY JOHNSON, COUNCIL MEMBER
 JOSEPH BJORN, COUNCIL MEMBER
 GREG BRIMHALL, COUNCIL MEMBER



BUILDING DEPARTMENT

BRIAN RICHARDS, TOWN MANAGER/FINANCE DIRECTOR
 BRUCE MEYER, COMMUNITY DEV./PLANNING & ZONING

**HOME SWEET HOME
 Phase Two
 Single-Family Housing
 TWO BEDROOM / TWO BATH - LEFT PARKING**

for
**Snowflake, Arizona
 81 WEST 1ST STREET SOUTH
 SNOWFLAKE, AZ 85937**

INDEX TO DRAWINGS

| | |
|-------|------------------------------------|
| CS | COVER SHEET W/ PROJECT INFORMATION |
| A-1.0 | FLOOR PLANS / OPENING SCHEDULES |
| A-2.0 | FOUNDATION PLANS |
| A-3.0 | ROOF FRAMING PLANS |
| A-4.0 | BRACE WALL PLANS |
| A-5.0 | EXTERIOR ELEVATIONS |
| A-6.0 | BUILDING SECTIONS |
| A-7.0 | DETAILS |
| M-1.0 | MECHANICAL |
| E-1.0 | ELECTRICAL |

PROJECT INFORMATION

ALL WORK SHALL CONFORM TO ALL TOWN OF SNOWFLAKE ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2024 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2024 INTERNATIONAL PLUMBING CODE (IPC)
- 2024 INTERNATIONAL MECHANICAL CODE (IMC)
- 2023 NATIONAL ELECTRIC CODE (NEC)

LIVABLE: 1,080 SQ. FT.
 CARPORT/ALT. GARAGE: 517 SQ. FT.
 COVERED ENTRY: 144 SQ. FT.
 TOTAL UNDER ROOF: 1,741 SQ. FT.

OPTION WITHOUT GARAGE, OR CARPORT:

LIVABLE: 1,080 SQ. FT.
 COVERED ENTRY: 144 SQ. FT.
 TOTAL UNDER ROOF: 1,224 SQ. FT.

OCCUPANCY: R-3 (Single-Family Residential)
 CONSTRUCTION TYPE: V-B

THESE HOMES WERE DESIGNED FOR A MAXIMUM 45 PSF SNOW LOAD. THEY WERE NOT DESIGNED FOR A TILE ROOF.

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF TOWN OF SNOWFLAKE PERSONNEL.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY TOWN OF SNOWFLAKE OF ANY DISCREPANCIES. THE TOWN OF SNOWFLAKE, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO ACQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY TOWN OF SNOWFLAKE PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW OR DOOR FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.
11. ALL INTERIOR WALL, AND CEILING FINISHES, SHALL BE TAPED, TEXTURED, AND PAINTED 1/2" DRYWALL. PROVIDE 'GREENBOARD' BEHIND ALL TUB ENCLOSURES.
12. ENERGY COMPLIANCE IN THE TOWN OF SNOWFLAKE IS OPTIONAL. R-VALUES SHOWN ARE RECOMMENDED MINIMUMS BASED ON LOCAL CONDITIONS.

BE ADVISED: TRUSS CALCULATIONS ARE TO BE PROVIDED AT FRAMING INSPECTION. TRUSSES MUST ACCURATELY REFLECT THE CONDITIONS OF THE DESIGN. FAILURE TO PROVIDE SITE ACCURATE TRUSS CALCULATIONS WILL RESULT IN DELAYS AND MAY REQUIRE THE PROJECT TO STOP AND BE PROCESSED AS A NEW CUSTOM HOME.

BE ADVISED: ALTERATIONS OR MODIFICATIONS TO PLANS WILL NOT BE ACCEPTED (BEFORE OR DURING CONSTRUCTION) - NO EXCEPTIONS. IF CHANGES ARE MADE, THE ORIGINAL PERMIT WILL BE VOIDED AND A NEW CUSTOM HOME PERMIT WITH NEW PLANS ARE REQUIRED. THE NEW PERMIT WILL BE PROCESSED AS A CUSTOM HOME AND IS SUBJECT TO ALL APPLICABLE FEES AND PROCESSING TIMES (REDUCED FEES AND REVIEW TIMES WILL NO LONGER APPLY).

DOOR SCHEDULE

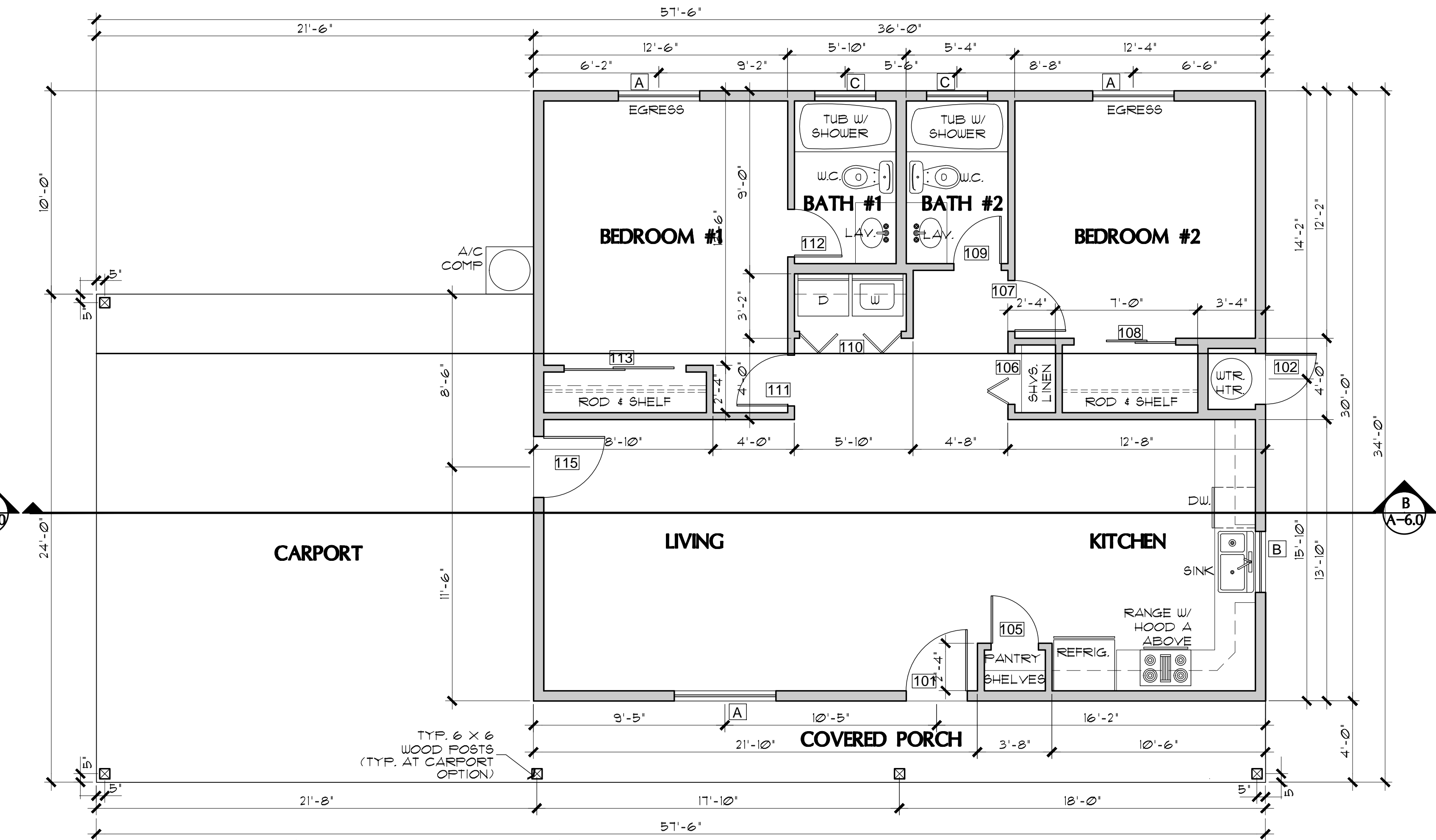
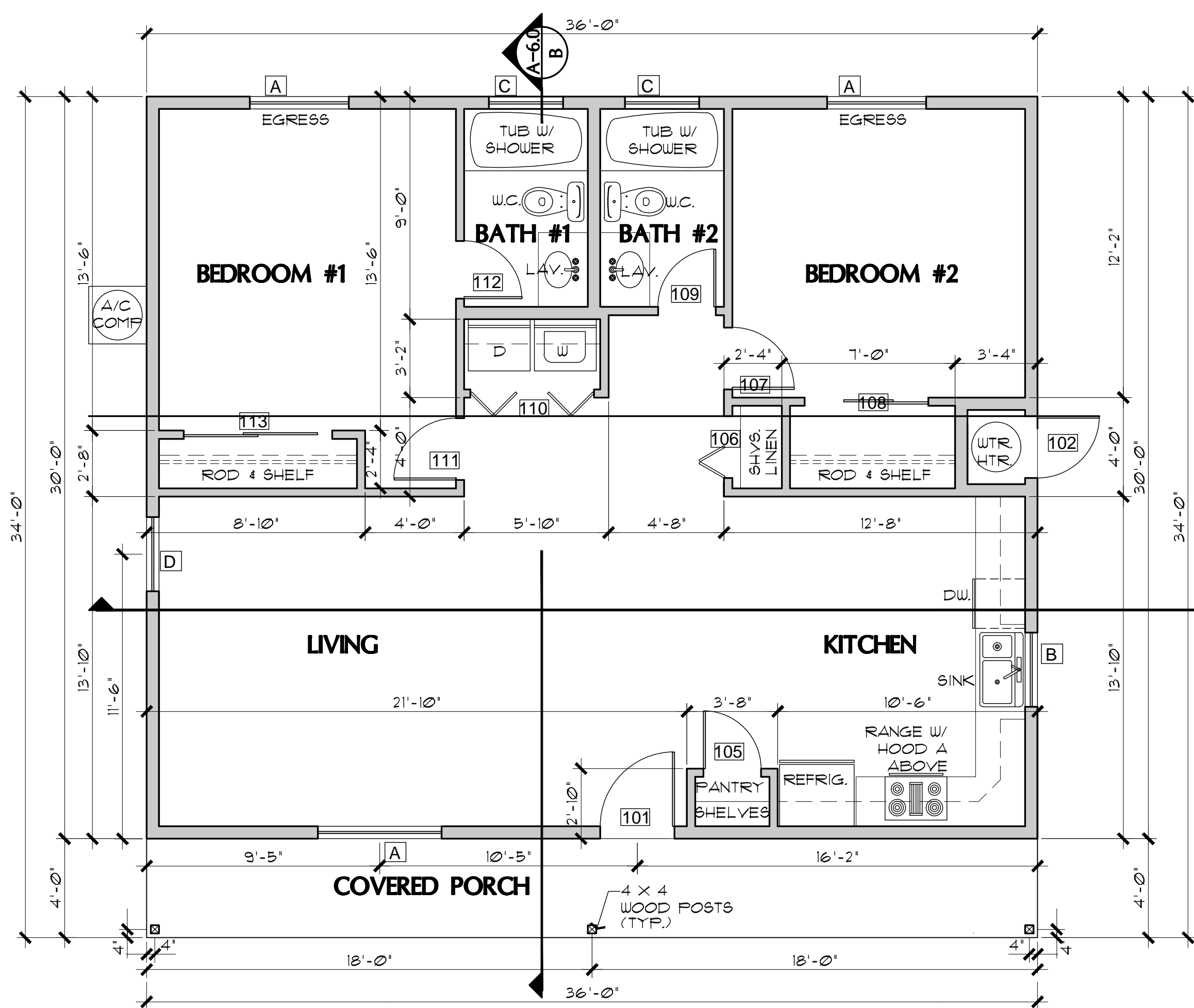
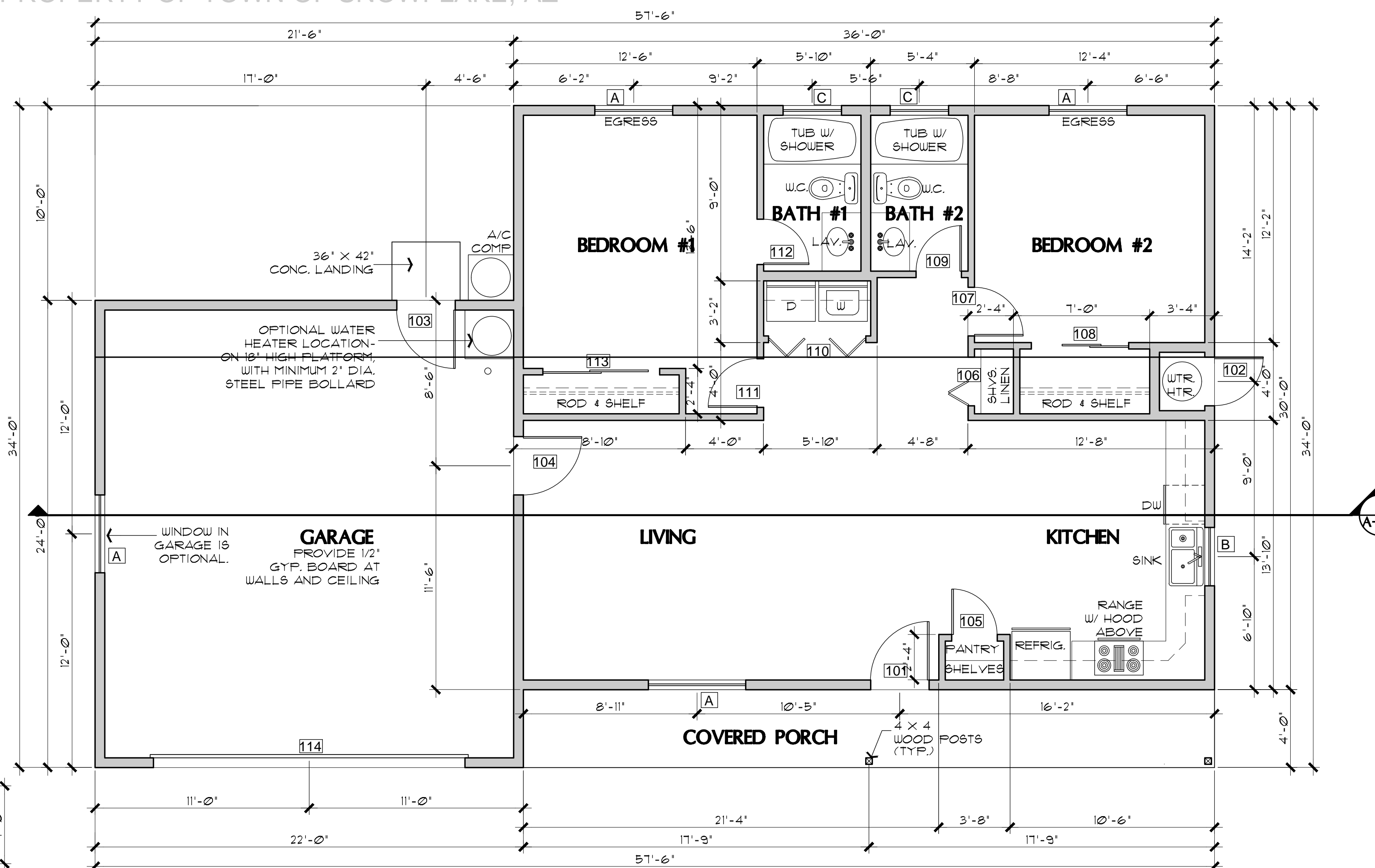
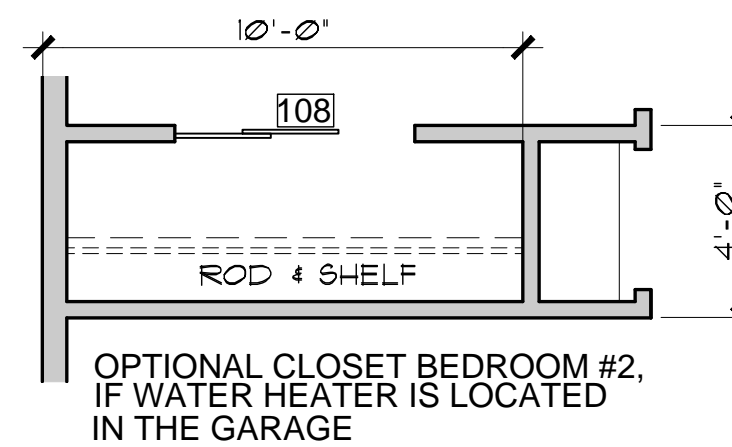
| DR. # | SIZE W. H. T. | DOOR TYPE | REMARKS |
|-------|--------------------|-----------------------|--|
| 101 | 3'-0" 6'-8" 1-3/4" | SOLID-CORE WOOD | |
| 102 | 2'-6" 6'-8" 1-3/4" | SOLID-CORE FLUSH WOOD | IF USING GAS WATER HEATER, PROVIDE 12" X 12" VENTS, ONE AT THE TOP, AND BOTTOM OF DOOR |
| 103 | 3'-0" 6'-8" 1-3/4" | SOLID-CORE FLUSH WOOD | |
| 104 | 3'-0" 6'-8" 1-3/8" | SOLID-CORE FLUSH WOOD | SELF-CLOSING & SELF-LATCHING |
| 105 | 2'-4" 6'-8" 1-3/8" | INTERIOR HOLLOW CORE | |
| 106 | 2'-6" 6'-8" 1-1/8" | BI-FOLD | |
| 107 | 2'-6" 6'-8" 1-3/8" | INTERIOR HOLLOW CORE | |
| 108 | 5'-0" 6'-8" 1-1/8" | SLIDING BI-PASS | |
| 109 | 2'-4" 6'-8" 1-3/8" | INTERIOR HOLLOW CORE | |
| 110 | 5'-0" 6'-8" 1-1/8" | BI-FOLD | |
| 111 | 2'-6" 6'-8" 1-3/8" | INTERIOR HOLLOW CORE | |
| 112 | 2'-4" 6'-8" 1-3/8" | INTERIOR HOLLOW CORE | |
| 113 | 5'-0" 6'-8" 1-3/8" | SLIDING BI-PASS | |
| 114 | 16'-0" 7'-0" - | OVERHEAD GARAGE DOOR | |
| 115 | 3'-0" 6'-8" 1-3/4" | SOLID-CORE WOOD | |

WINDOW SCHEDULE (8' plate height - 6'-8" HDR)

| WIN. | SIZE | TYPE | REMARKS |
|------|------|------|-------------------|
| A | 4040 | XO | EGRESS AT BEDROOM |
| B | 3030 | XO | |
| C | 3010 | XO | |
| D | 3040 | XO | |

WINDOW SCHEDULE (9' plate height - 8'-0" HDR)

| WIN. | SIZE | TYPE | REMARKS |
|------|------|------|--|
| A | 4050 | XO | EGRESS AT BEDROOM MUST HAVE MAX. 44" SILL HEIGHT ABOVE FLOOR |
| B | 3030 | XO | |
| C | 3010 | XO | |
| D | 3040 | XO | |



2BD/2BA
Job no. : LEFT PARKING
Date : JUNE 22, 2026
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
markrogers914@gmail.com

FLOOR PLANS / OPENING SCHEDULES
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

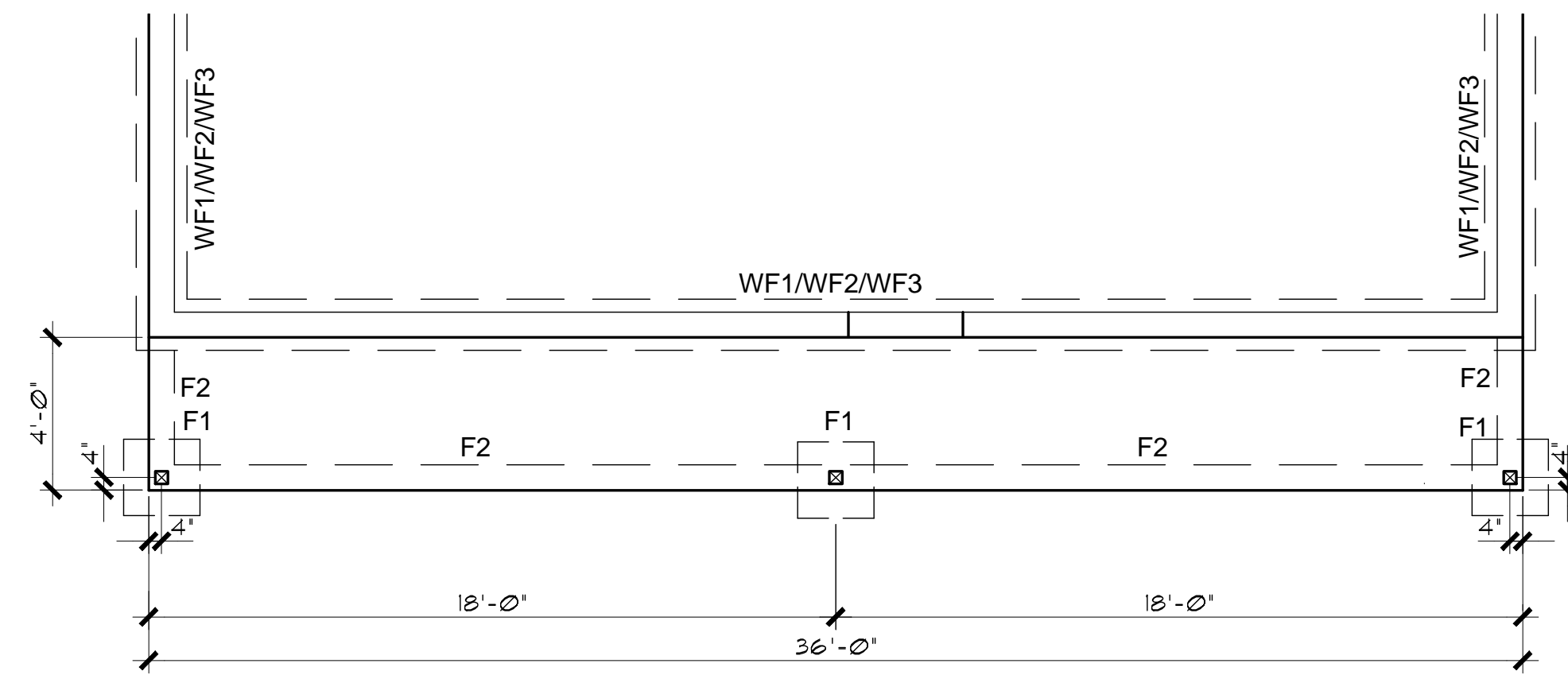
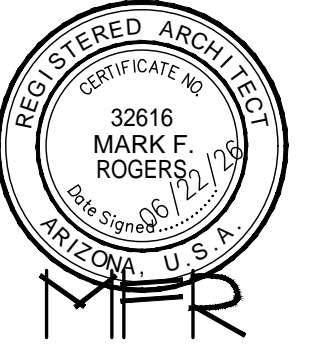
SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
SNOWFLAKE, AZ 85937

SHEET NO:
A-10

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



FOUNDATION PLAN (without Garage or Carport option)

SCALE: 1/4" = 1'-0"

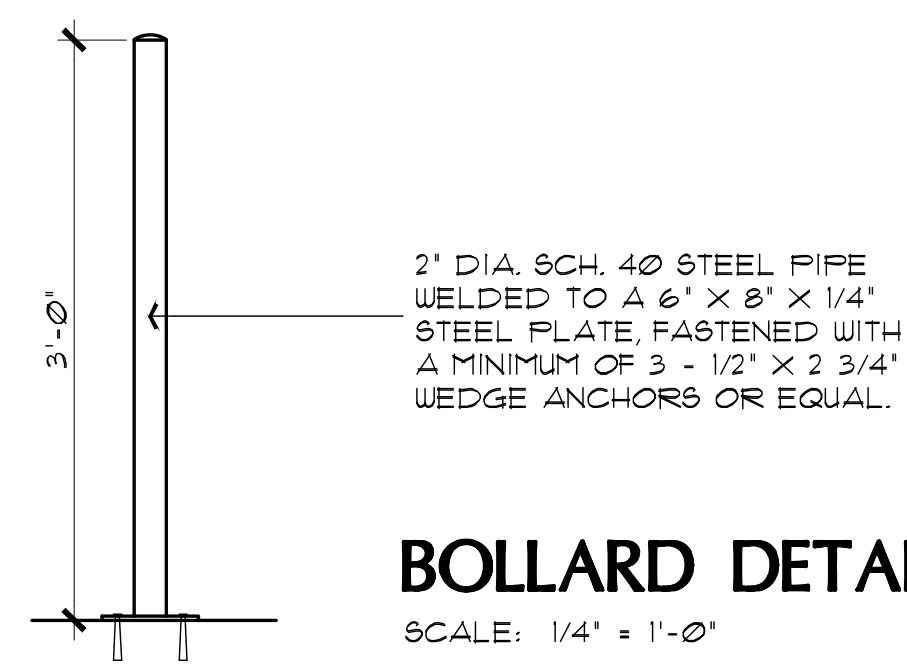
FOUNDATION NOTES

1. FOOTINGS TO BE A MIN. OF 10" THICK IN 18" MIN. UNDISTURBED SOIL U.N.O.
2. FOOTINGS AND INTERIOR FLATWORK TO BE MIN. 2500 P.S.I. MIN COMPRESSIVE STRENGTH AT 28 DAYS.
3. FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISH GRADE
4. FOUNDATION PLATES AND SILLS SHALL BE BOLTED TO FOUNDATION WITH MIN. 1/2" BOLTS 6"-0" O.C., 12" FROM CORNERS AND EMBEDDED 7" INTO FOUNDATION WALL
5. EXTERIOR FLATWORK SLOPE TO BE 1/4" PER FOOT.
6. CONTRACTOR TO EMBED 20' OF #4 G.A. COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND.
7. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
8. ALL EXTERIOR PLATES, LOAD BEARING AND NON LOAD BEARING SHALL BE PRESSURE TREATED, LESS THAN 8" ABOVE GRADE
9. FILL BEING PLACED THAT EXCEEDS 2' WILL REQUIRE A CERTIFIED COMPACTION TEST AND REPORT.
10. VAPOR BARRIER SHALL BE INSTALLED BELOW SLAB AS PER THE GEOTECHNICAL REPORT WHEN PROVIDED.
11. ASSUMED SOIL BEARING PRESSURE 1500 PSF UNLESS SPECIFIED OTHERWISE IN A GEOTECHNICAL REPORT

NOTE: THE FOOTINGS SIZE, THICKNESS, AND BOTTOM OF FOOTING DEPTH SHALL BE PER THE GEOTECHNICAL REPORT/ENGINEER'S REQUIREMENTS WHEN PROVIDED. THIS SHALL INCLUDE ANY OVER EXCAVATIONS, ENGINEERED PAD REQUIREMENTS, AND/OR A CHANGE IN DEPTH, AND TYPE OF BASE COURSE UNDER THE CONCRETE SLABS.

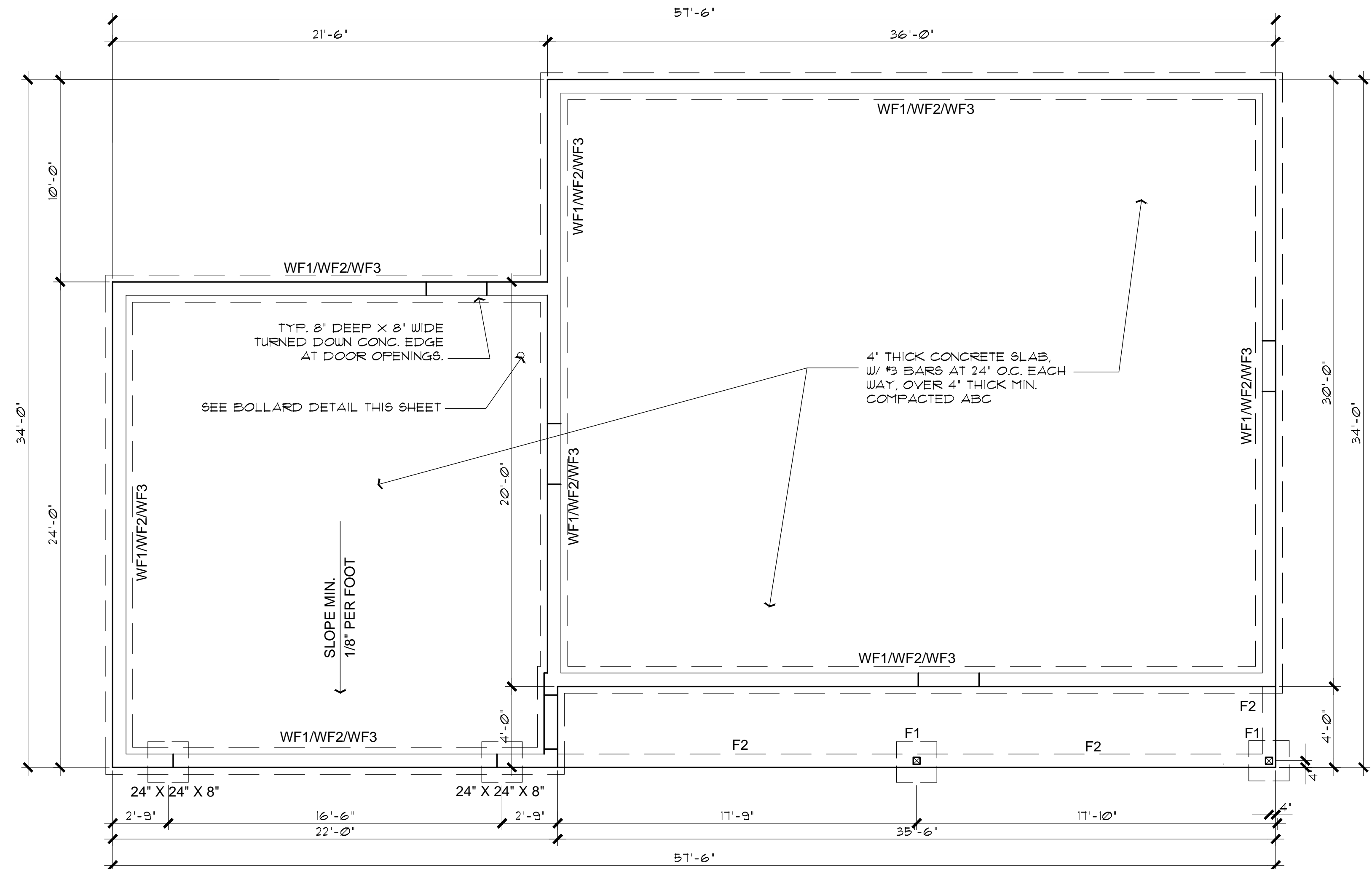
THIS PLAN IS ONLY APPLICABLE ON FLAT LOTS WITH A CROSS SLOPE NO GREATER THAN 1% ACROSS THE BUILDING PAD.

SEE SHEET A-7.0 FOR FOOTING DETAILS



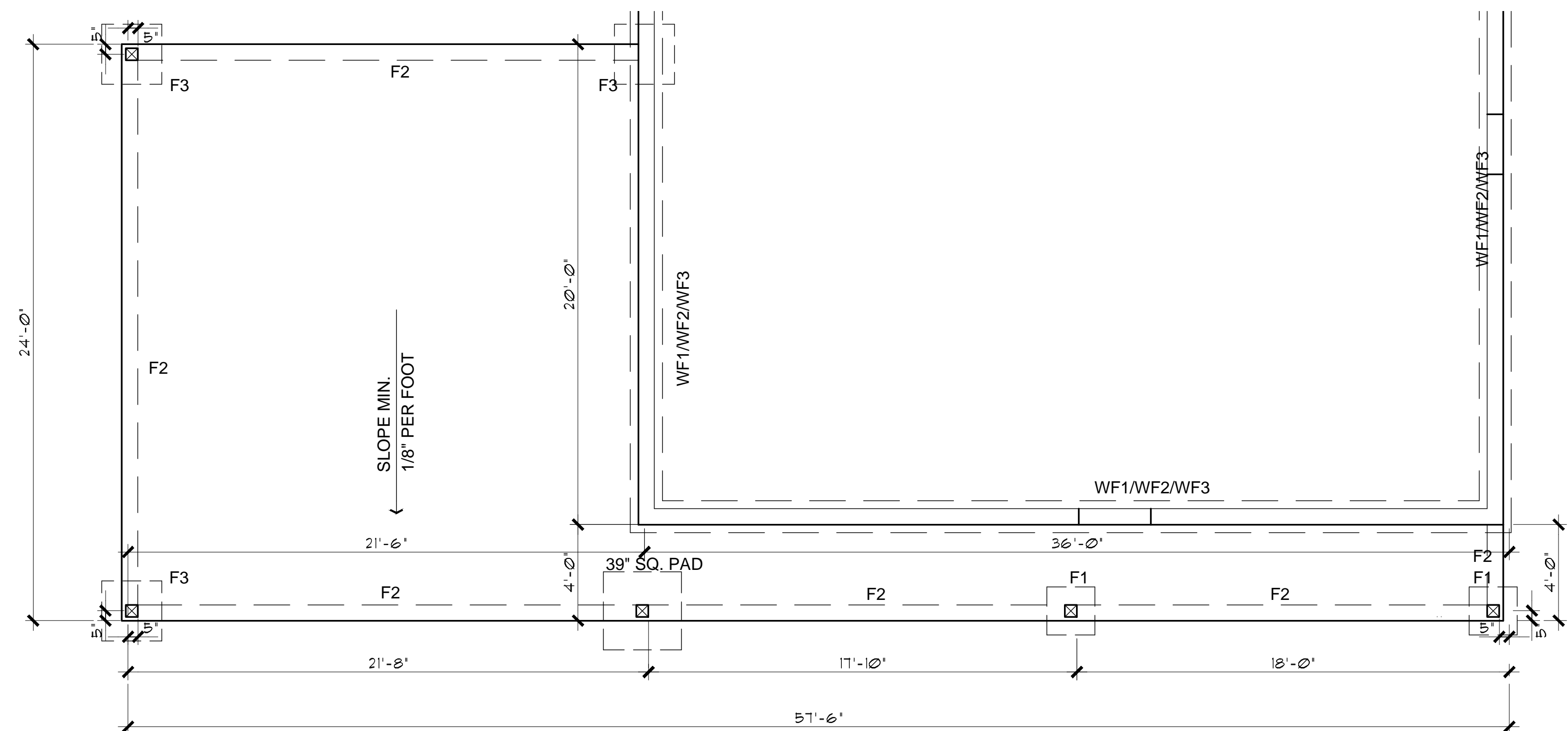
BOLLARD DETAIL

SCALE: 1/4" = 1'-0"
 THIS DETAIL APPLIES ONLY IF THE WATER HEATER IS LOCATED IN THE GARAGE.



FOUNDATION PLAN (with Garage option)

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 markrogers914@gmail.com

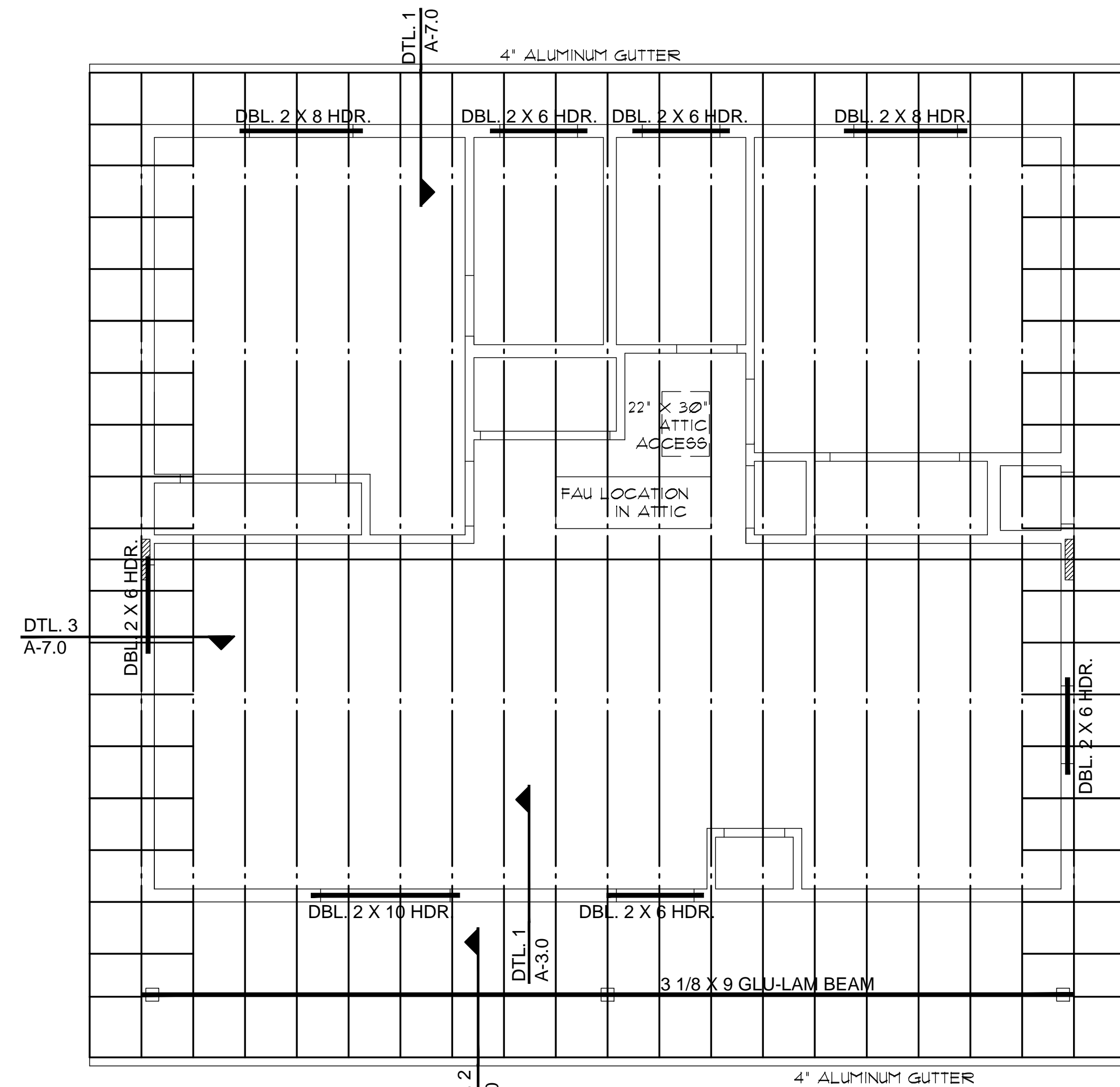
**FOUNDATION PLANS
 PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING**

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
 SNOWFLAKE, AZ 85937

SHEET NO:

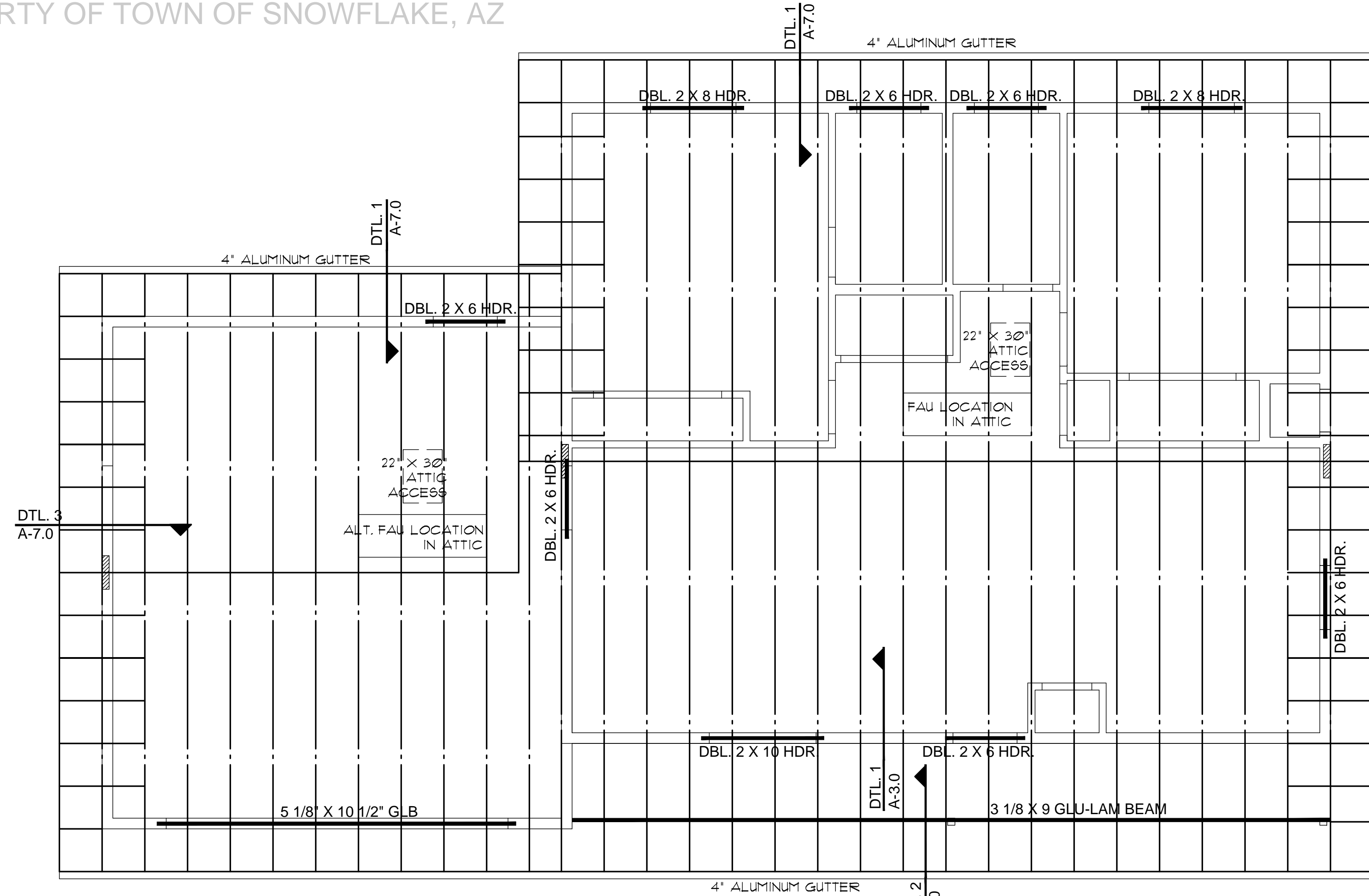
A-2.0



ROOF FRAMING PLAN (without optional Garage, or Carport)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
 REQUIRED 1224 SQ. FT. / 300' = 4 SQ. FT. (864 SQ. IN.)
 USE 2 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
 288 SQ. IN. AT GABLE ENDS
 288 SQ. IN. MIN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION
 *WHERE SPRAY FOAM IS USED ATTIC VENTILATION IS NOT REQUIRED

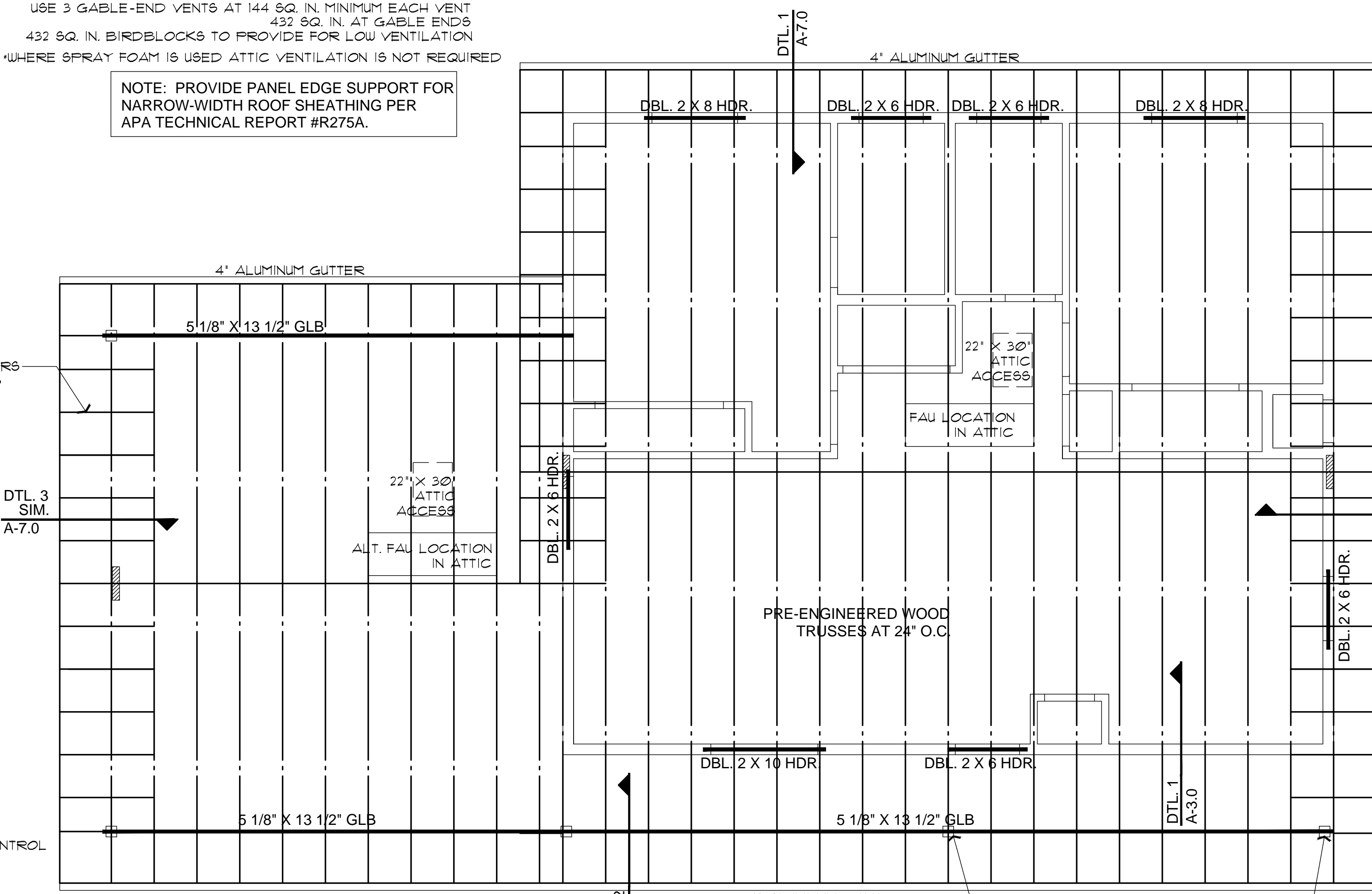


ROOF FRAMING PLAN (with optional Garage)

SCALE: 1/4" = 1'-0"

ROOF VENTILATION
 REQUIRED 1741 SQ. FT. / 300' = 6 SQ. FT. (864 SQ. IN.)
 USE 3 GABLE-END VENTS AT 144 SQ. IN. MINIMUM EACH VENT
 432 SQ. IN. AT GABLE ENDS
 432 SQ. IN. BIRDBLOCKS TO PROVIDE FOR LOW VENTILATION
 *WHERE SPRAY FOAM IS USED ATTIC VENTILATION IS NOT REQUIRED

NOTE: PROVIDE PANEL EDGE SUPPORT FOR NARROW-WIDTH ROOF SHEATHING PER APA TECHNICAL REPORT #R275A.

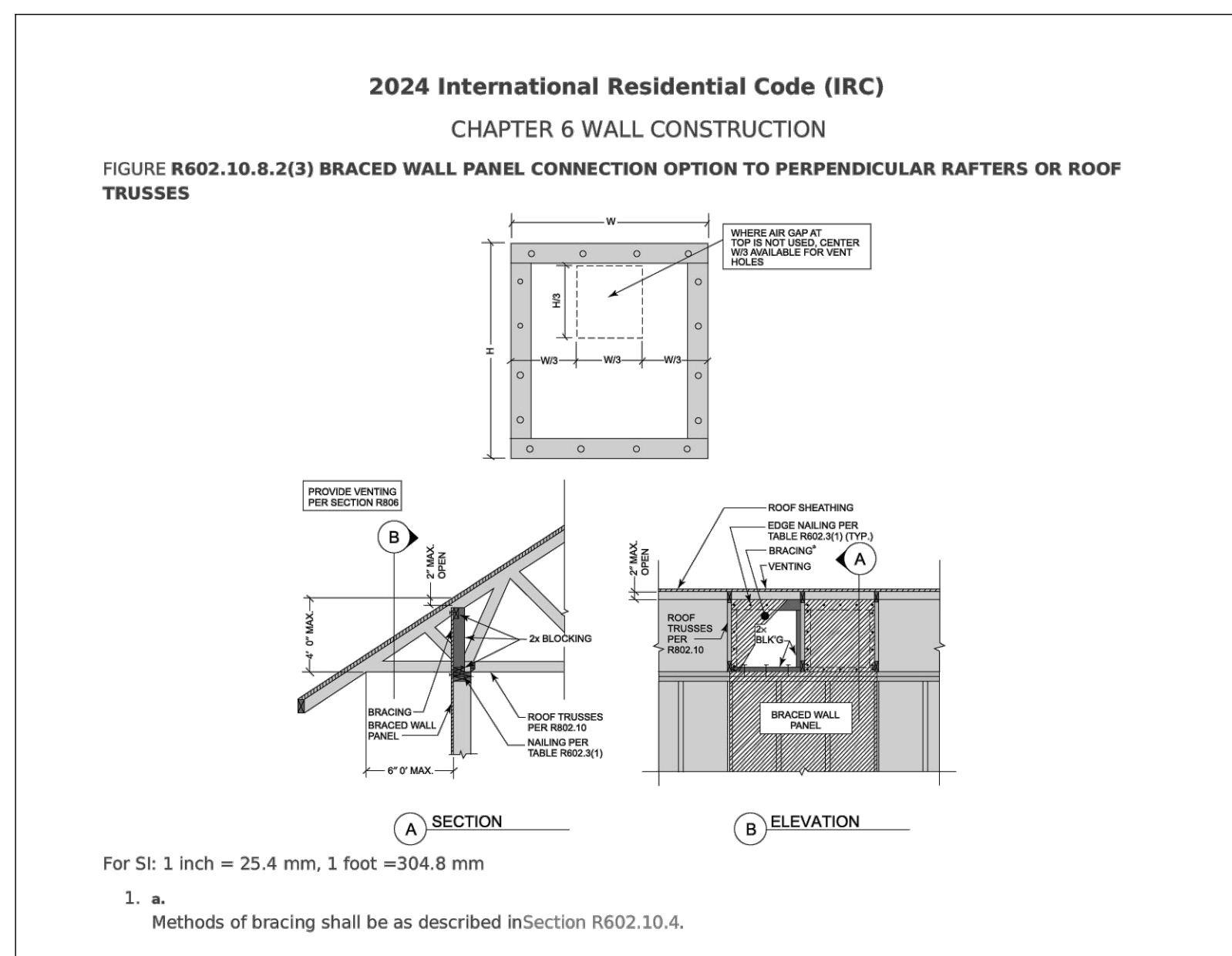


ROOF FRAMING PLAN (with optional Carport)

SCALE: 1/4" = 1'-0"

ROOF NOTES

- REFER TO TRUSS CALCULATIONS FOR FINAL ROOF FRAMING DESIGN.
- SIMPSON H2.5A HANGERS TO BE APPLIED @ ALL TRUSS ENDS
- ROOF SHEATHING TO BE 5/8" CDX PLYWOOD OR OSB.
- SUPPORTED MEMBERS OF G.L.B., 4 GIRDERS OR OTHER CONCENTRATED LOADS SUPPORTED BY WALL OR PIER SHALL HAVE BEARING AT LEAST AS WIDE AS THE ROOF MEMBER.
- ROOF PITCH 4:12 (TYP.)
- OVERHANGS TO BE 24".
- FURNACE IN ATTIC: PROVIDE A 24" SOLID PASSAGEWAY TO CONTROL SIDE OF APPLIANCE AND A 30" SERVICE SPACE ON THE CONTROL SIDE OF THE APPLIANCE (REQUIRED FOR ATTIC MOUNT FURNACES)
- ALL RAFTERS SHALL BE DOUGLAS FIR #2 (SIZE PER PLAN) ALL STUDS SHALL BE HEM FIR #2 (SIZE PER PLAN)
- DOWNSPOUT/ROOF DRAIN DISCHARGE SHALL TERMINATE AS RECOMMENDED BY THE GEOTECHNICAL REPORT



BRACED WALL PANEL CONNECTION OPTION AT PERPENDICULAR ROOF TRUSSES

SCALE: 1 1/2" = 1'-0"

2024 IRC FIGURE R602.10.8.2(3)

SEE ROOF FRAMING DETAILS SHEET A7.0

2BD/2BA
 Job no. : LEFT PARKING
 Date : JUNE 22, 2026
 Drawn by: MFR
 Chk'd by: MFR
 Scale : AS NOTED
 Revisions:

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 markrogers914@gmail.com

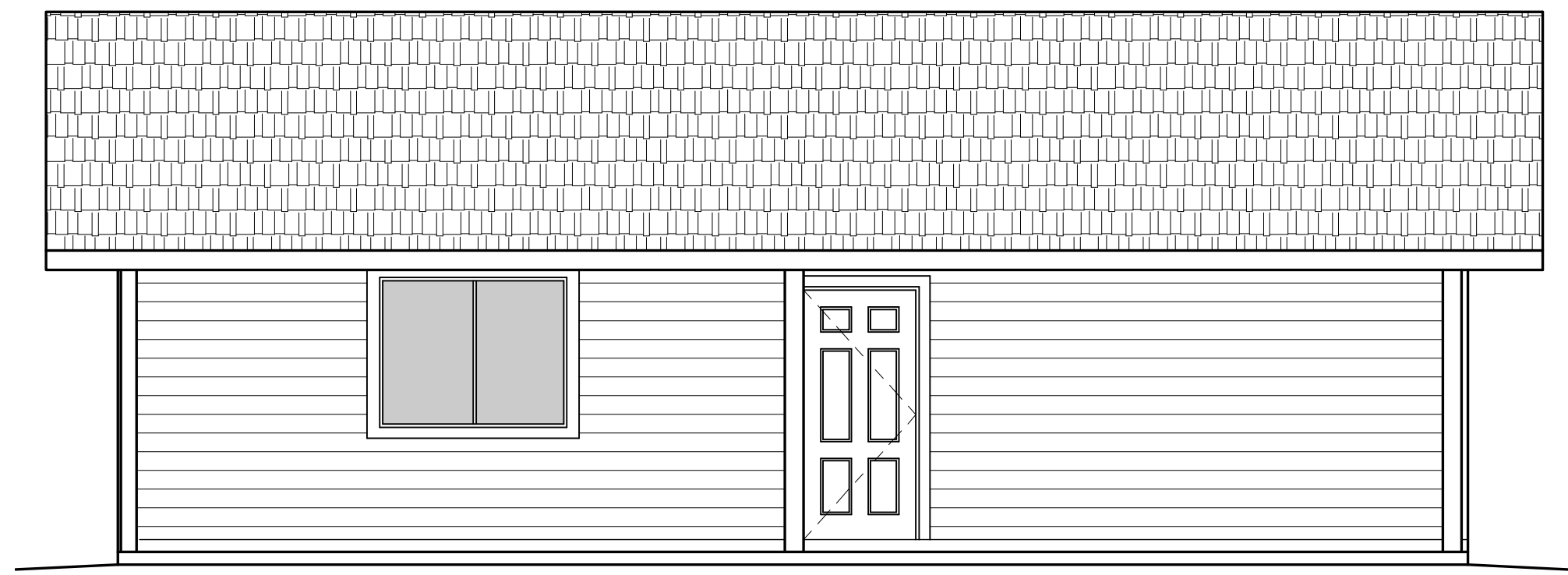
ROOF FRAMING PLANS
 PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
 SNOWFLAKE, AZ 85937

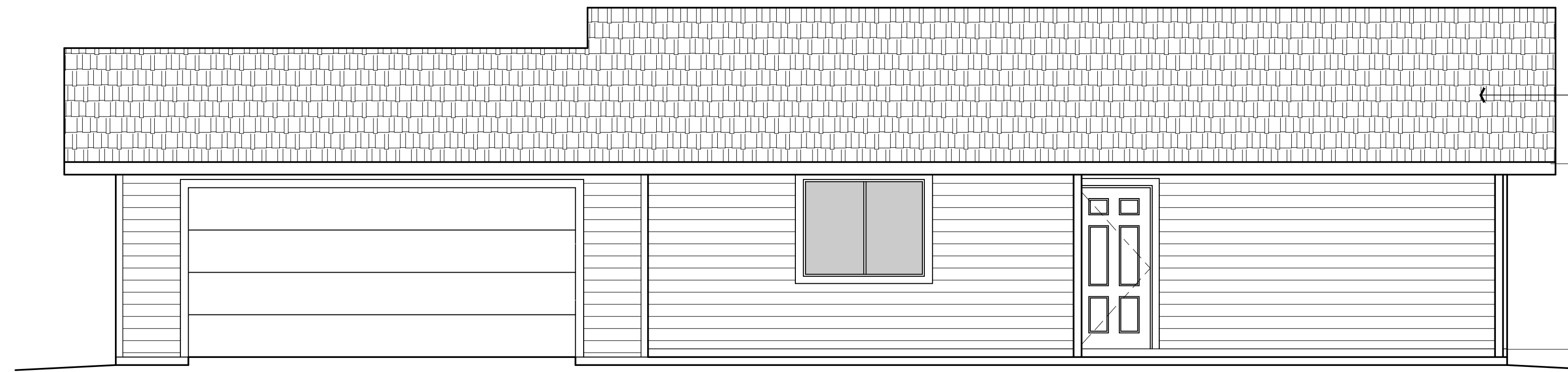
SHEET NO:

A-3.0



FRONT ELEVATION (without optional Garage or Carport)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (with optional Garage)

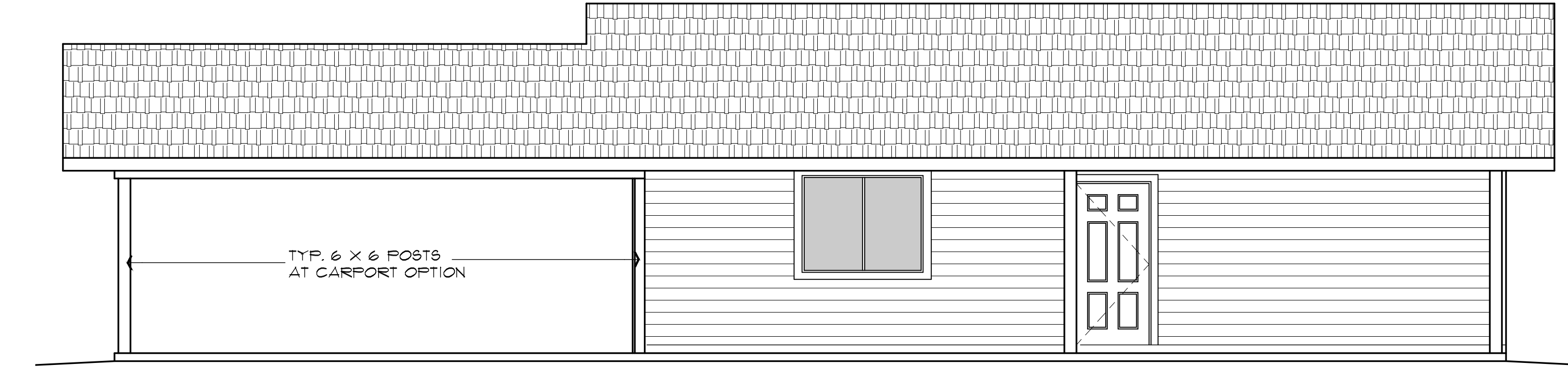
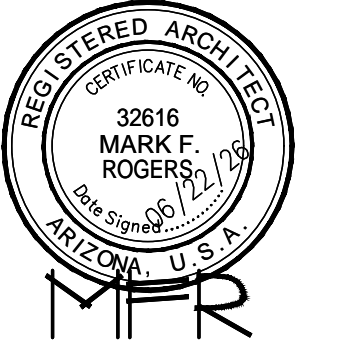
SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES
OR METAL ROOF PANELS
8'-1" OR 9'-1"
TOP OF PLATE
0'-0"
TOP OF SLAB

2BD/2BA
Job no. : LEFT PARKING
Date : JUNE 22, 2026
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

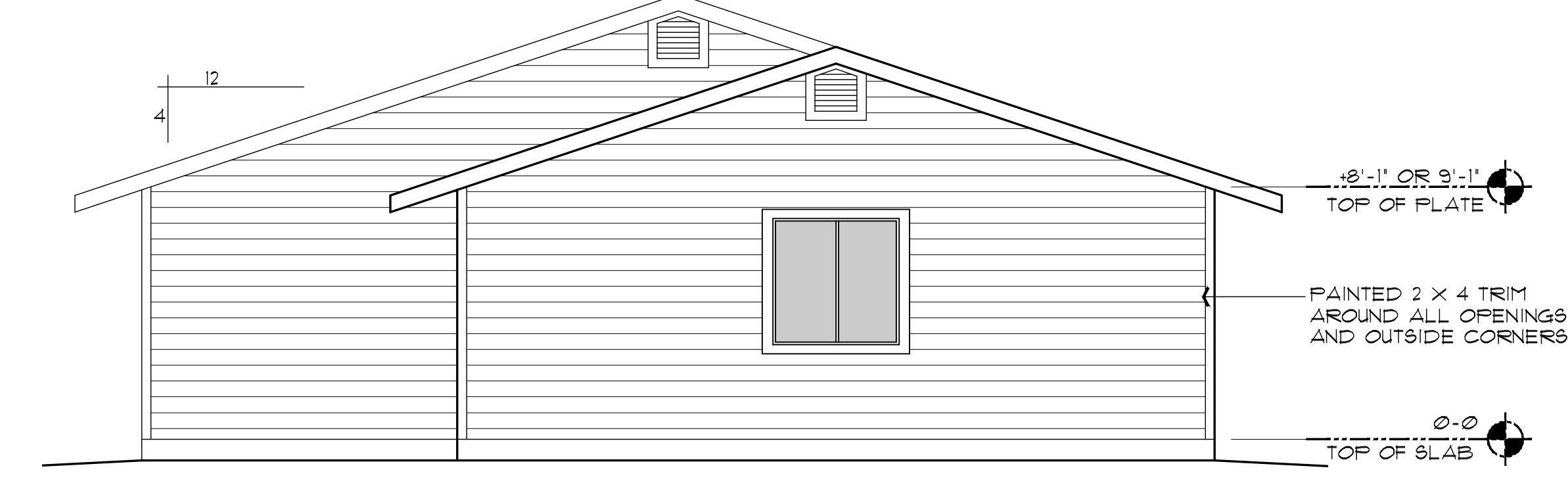
This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



FRONT ELEVATION (with optional Carport)

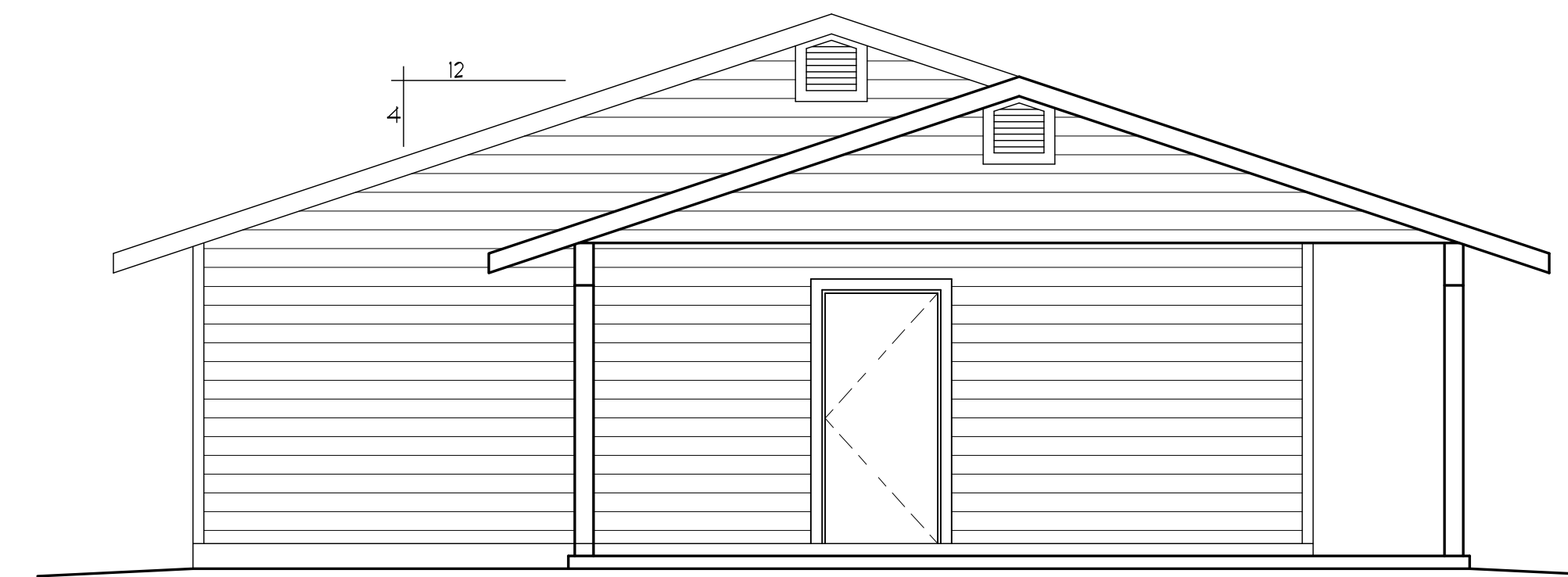
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (with optional Garage)

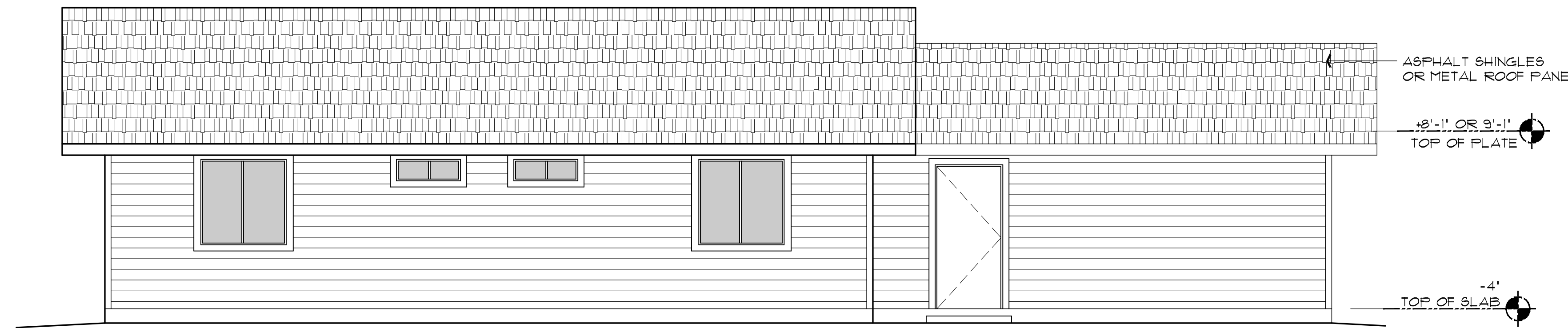
SCALE: 1/4" = 1'-0"

8'-1" OR 9'-1"
TOP OF PLATE
PAINTED 2 X 4 TRIM
AROUND ALL OPENINGS
AND OUTSIDE CORNERS
0'-0"
TOP OF SLAB



LEFT SIDE ELEVATION (with optional Carport)

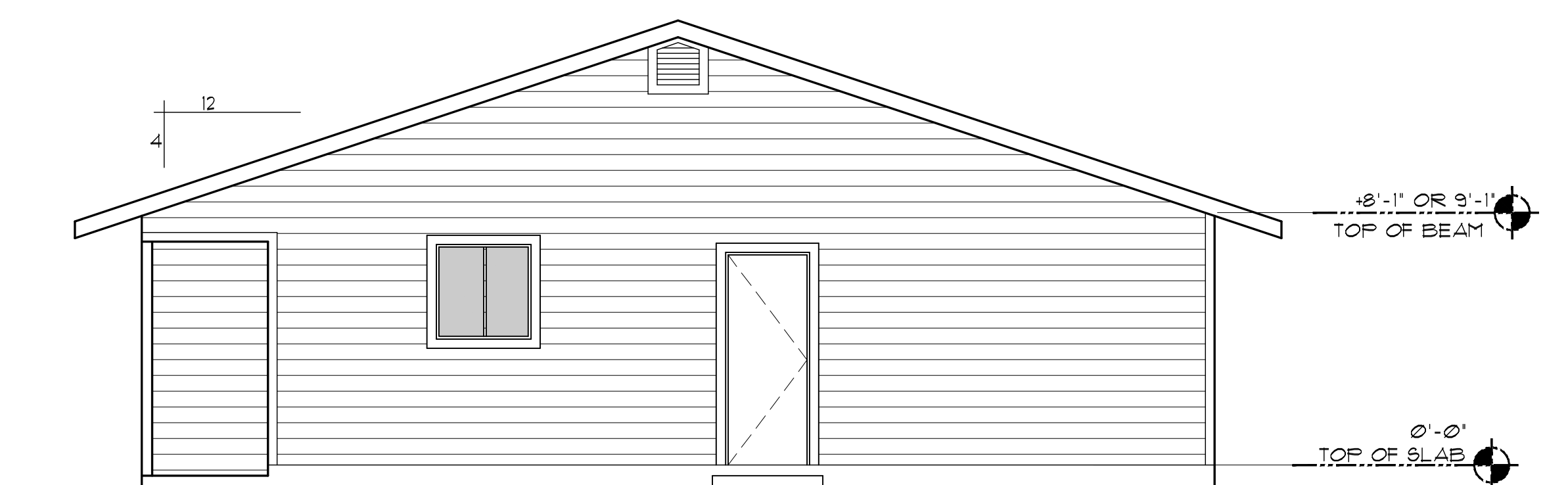
SCALE: 1/4" = 1'-0"



REAR ELEVATION (with Garage option)

SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES
OR METAL ROOF PANELS
8'-1" OR 9'-1"
TOP OF PLATE
-4"
TOP OF SLAB



RIGHT SIDE ELEVATION (same for all options)

SCALE: 1/4" = 1'-0"

8'-1" OR 9'-1"
TOP OF BEAM
0'-0"
TOP OF SLAB

Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
markrogers914@gmail.com

EXTERIOR ELEVATIONS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
SNOWFLAKE, AZ 85937

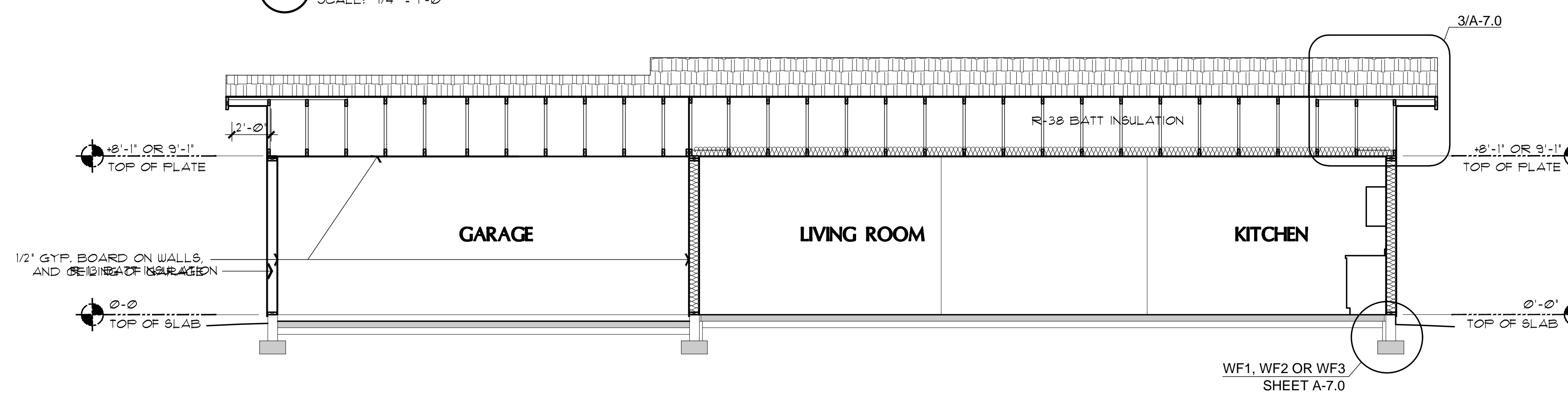
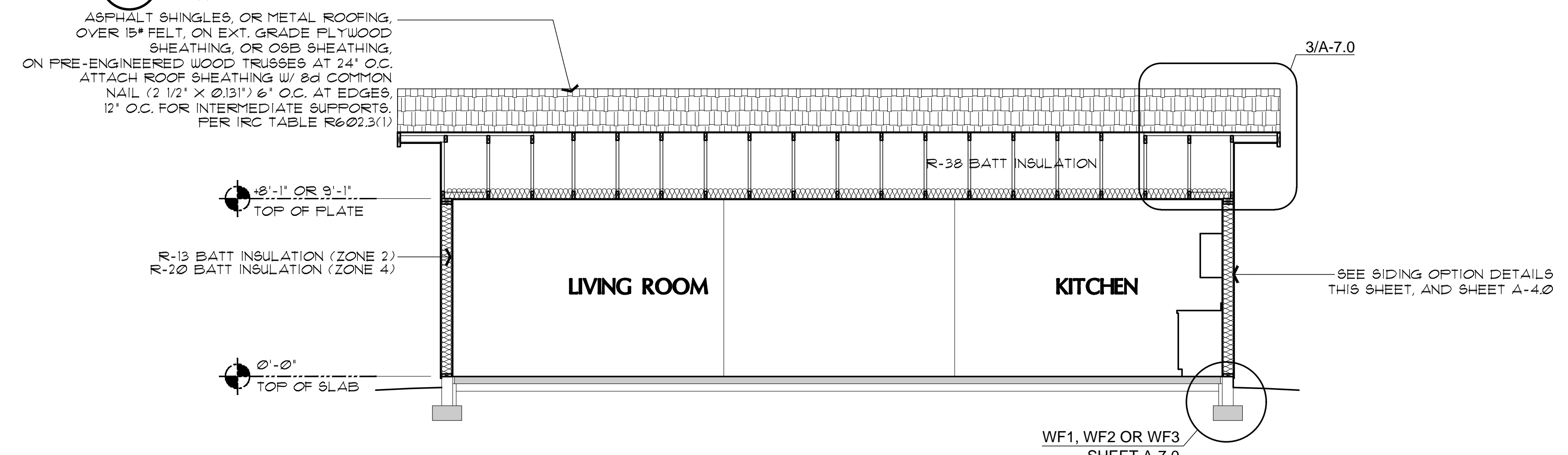
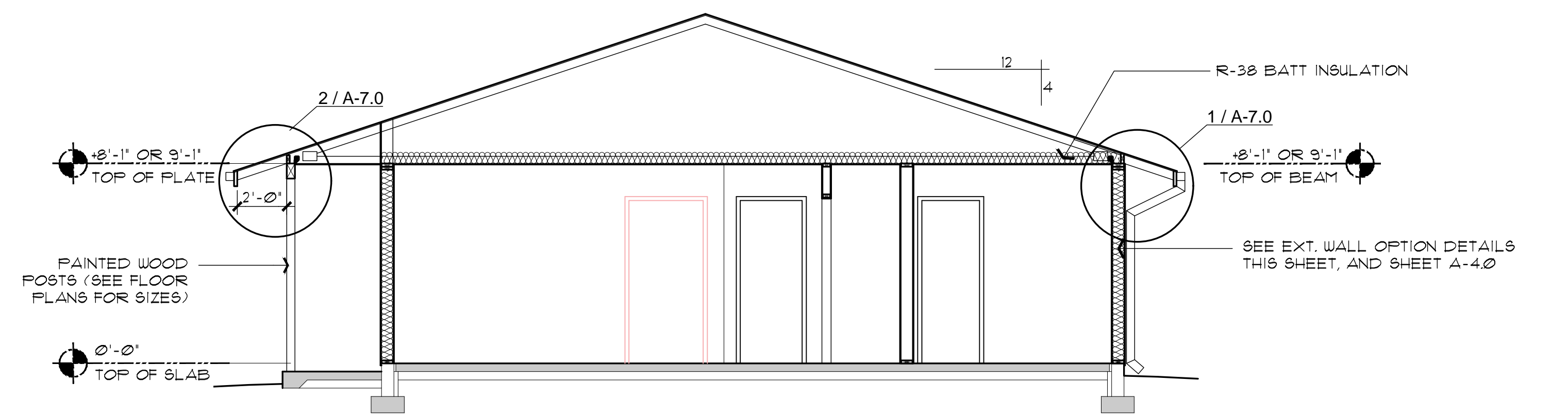
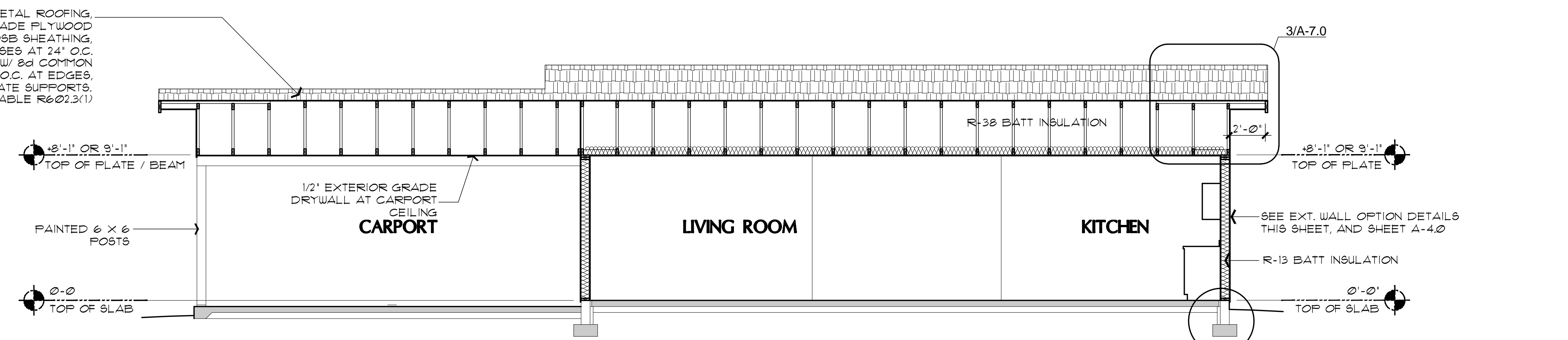
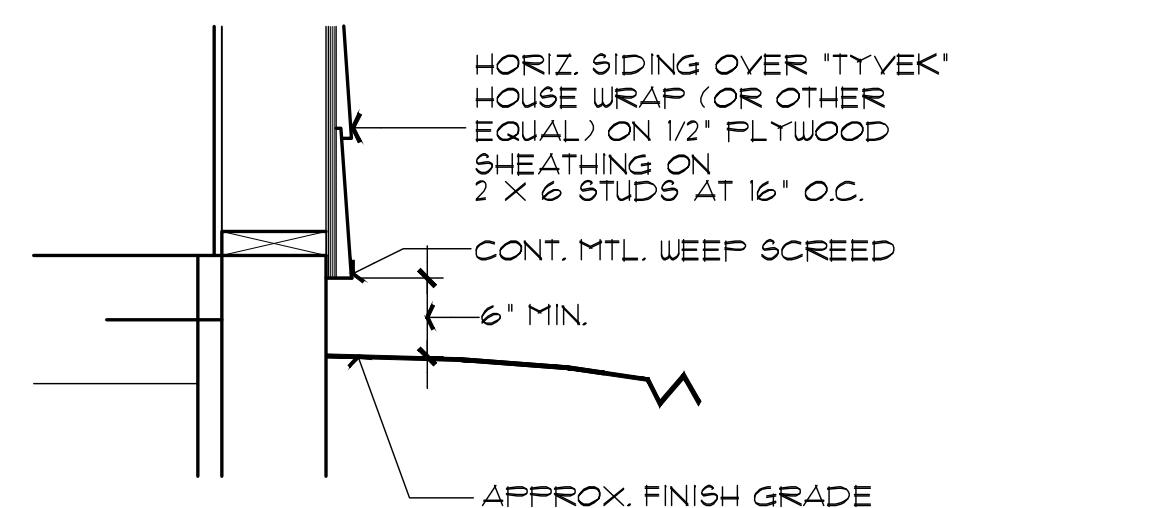
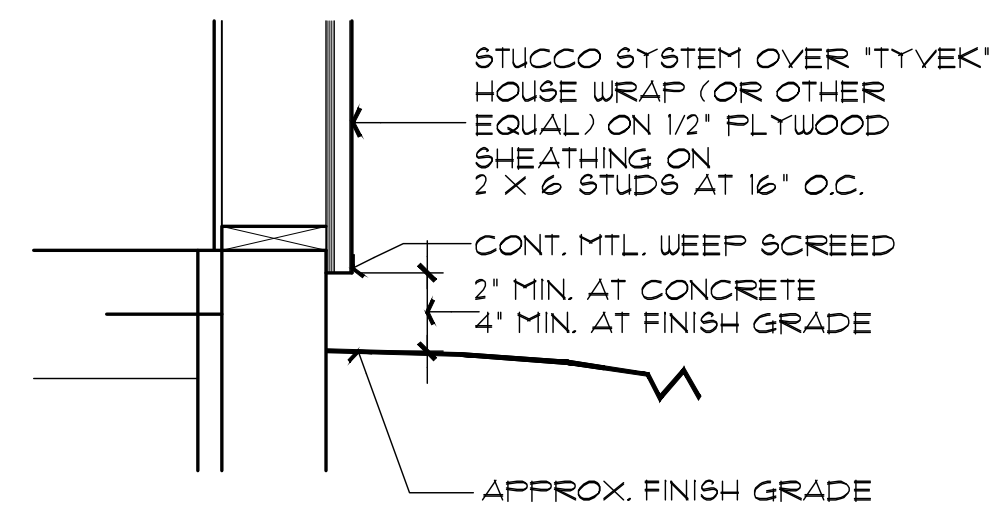
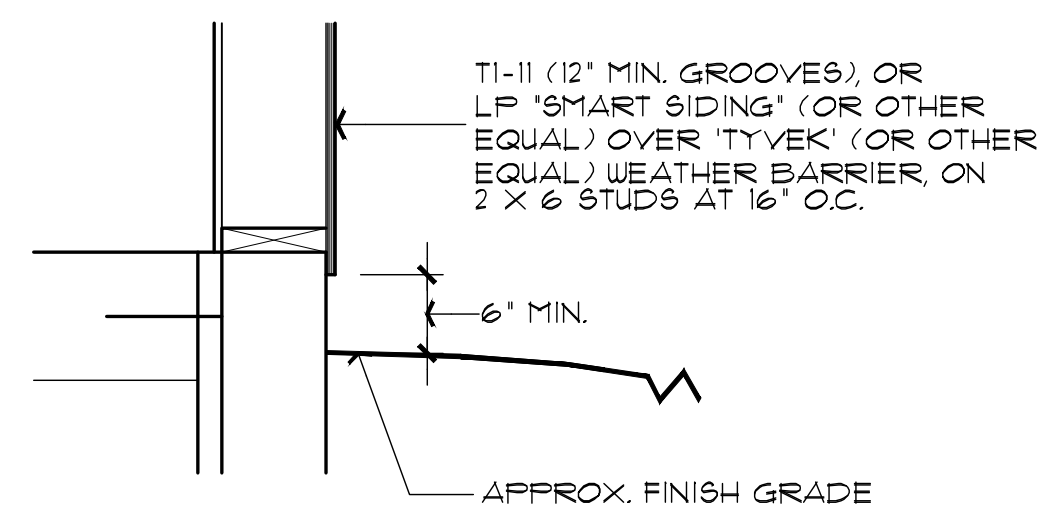
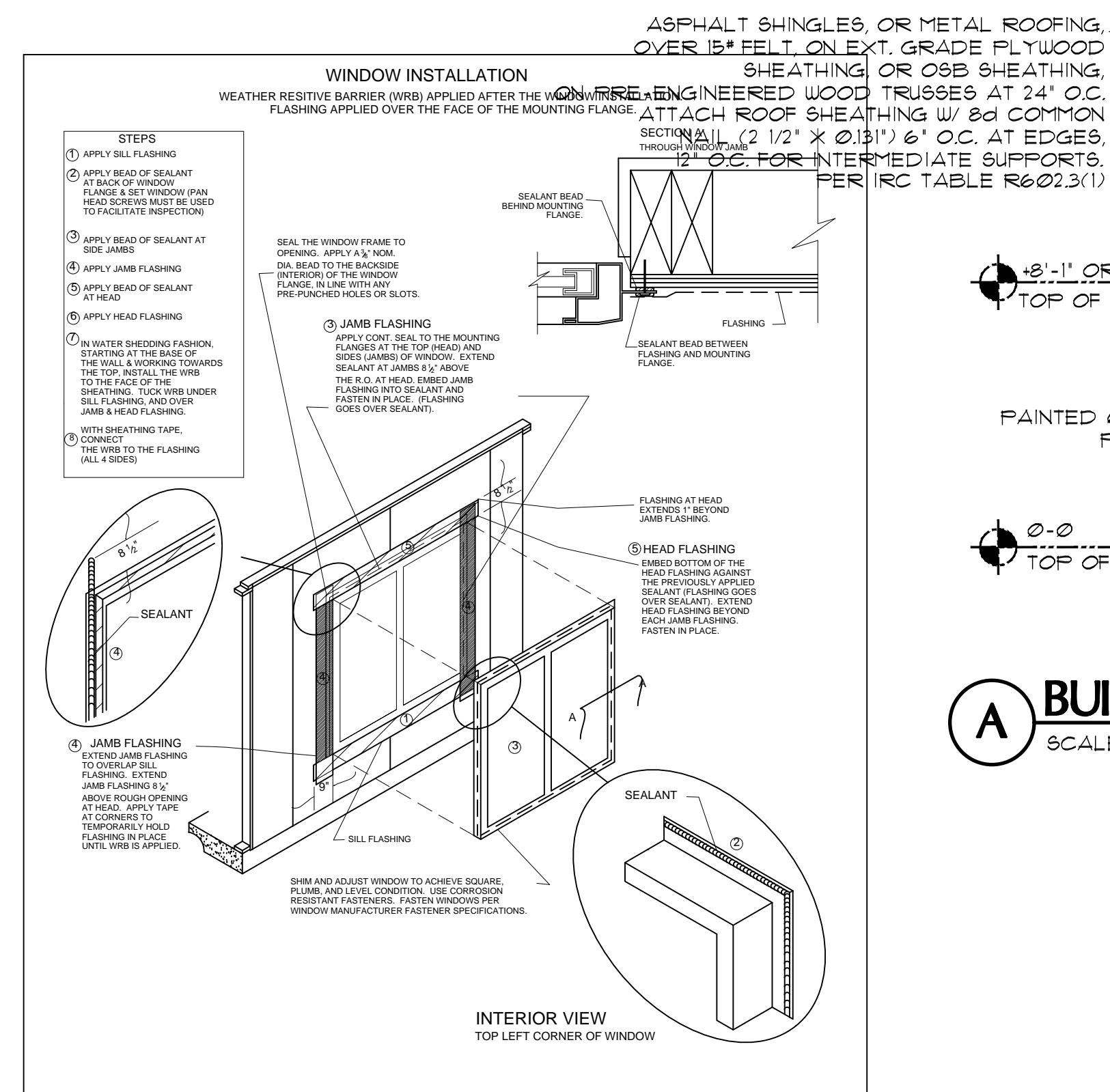
SHEET NO:

A-5.0

SEE SHEET A-6.0 FOR EXTERIOR WALL FINISH OPTIONS

PROPERTY OF TOWN OF SNOWFLAKE, AZ

PROPERTY OF TOWN OF SNOWFLAKE, AZ



2BD/2BA
Job no. : LEFT PARKING
Date : JUNE 22, 2026
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
markrogers914@gmail.com

BUILDING SECTIONS
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
SNOWFLAKE, AZ 85937

SHEET NO:

A-6.0

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 markrogers914@gmail.com

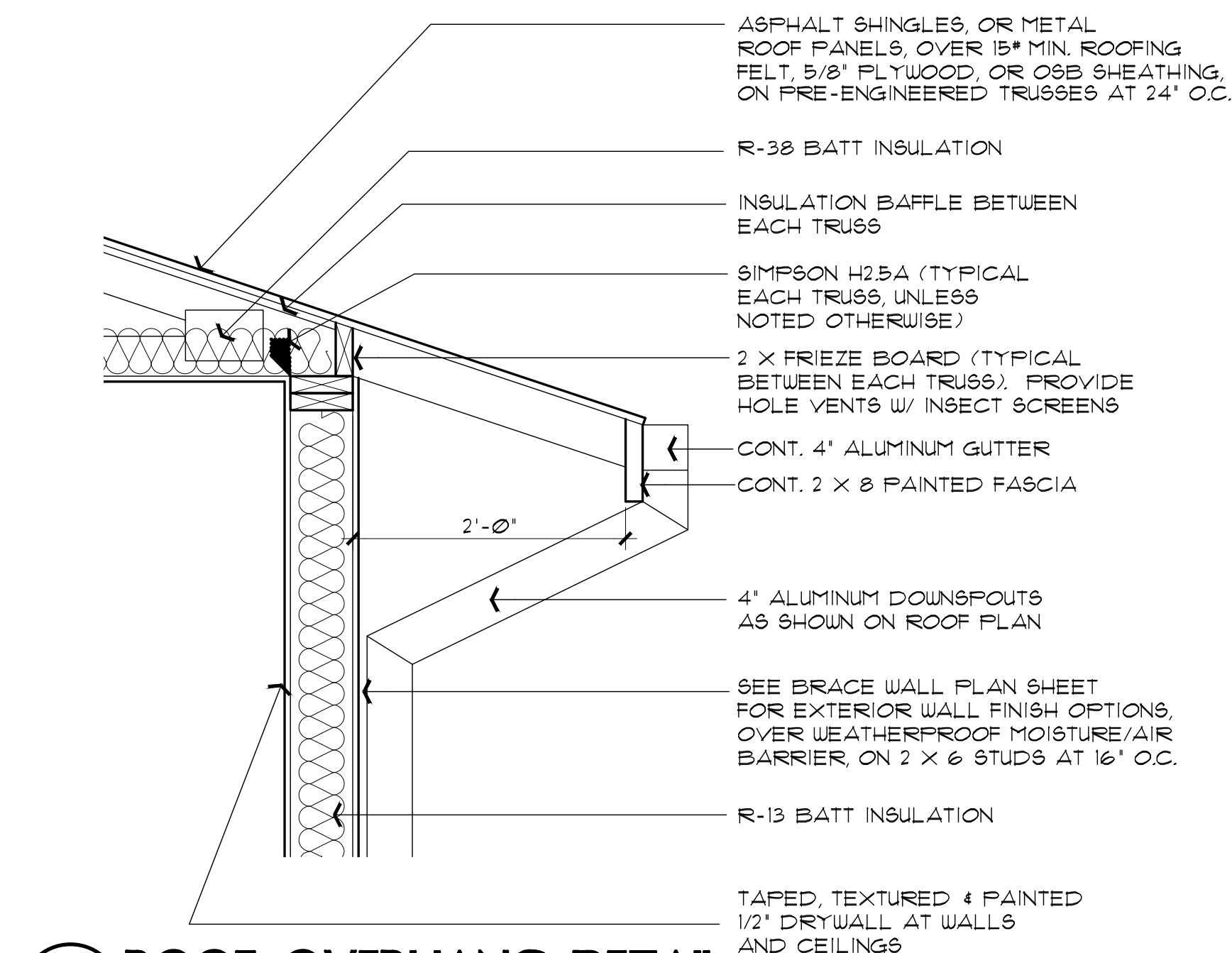
FOUNDATION / ROOF DETAILS
 PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

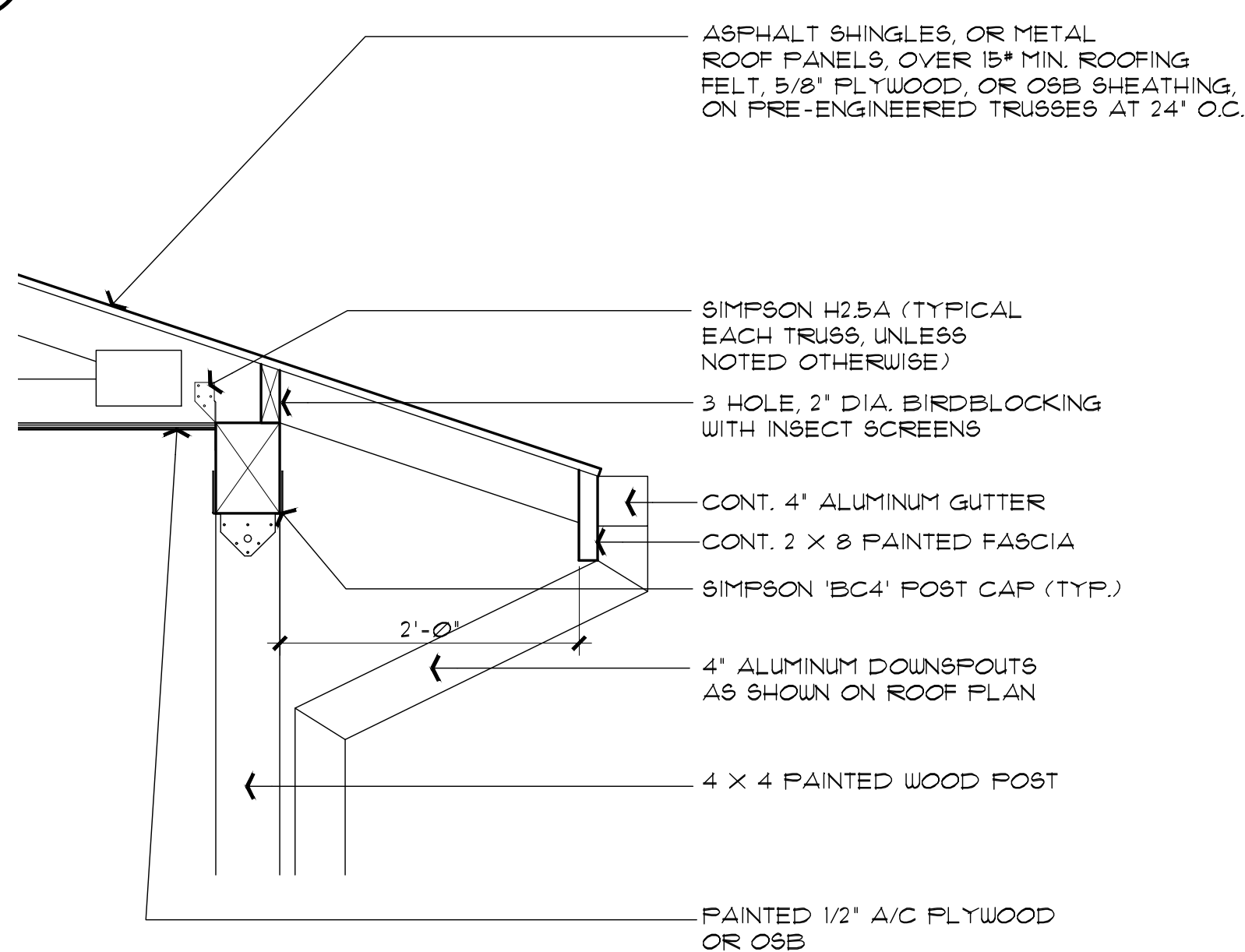
81 WEST 1ST STREET SOUTH
 SNOWFLAKE, AZ 85937

SHEET NO:

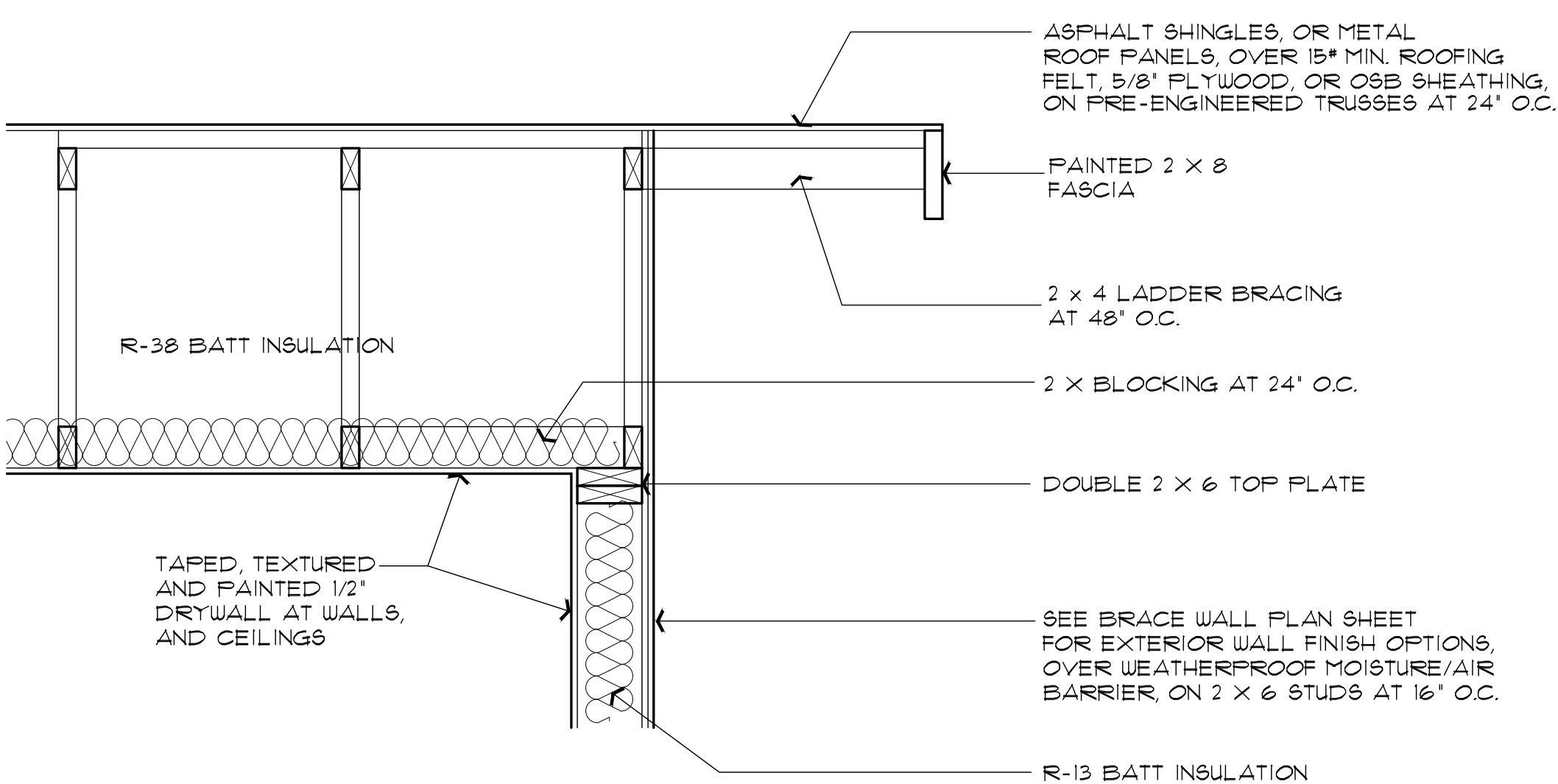
A-7.0



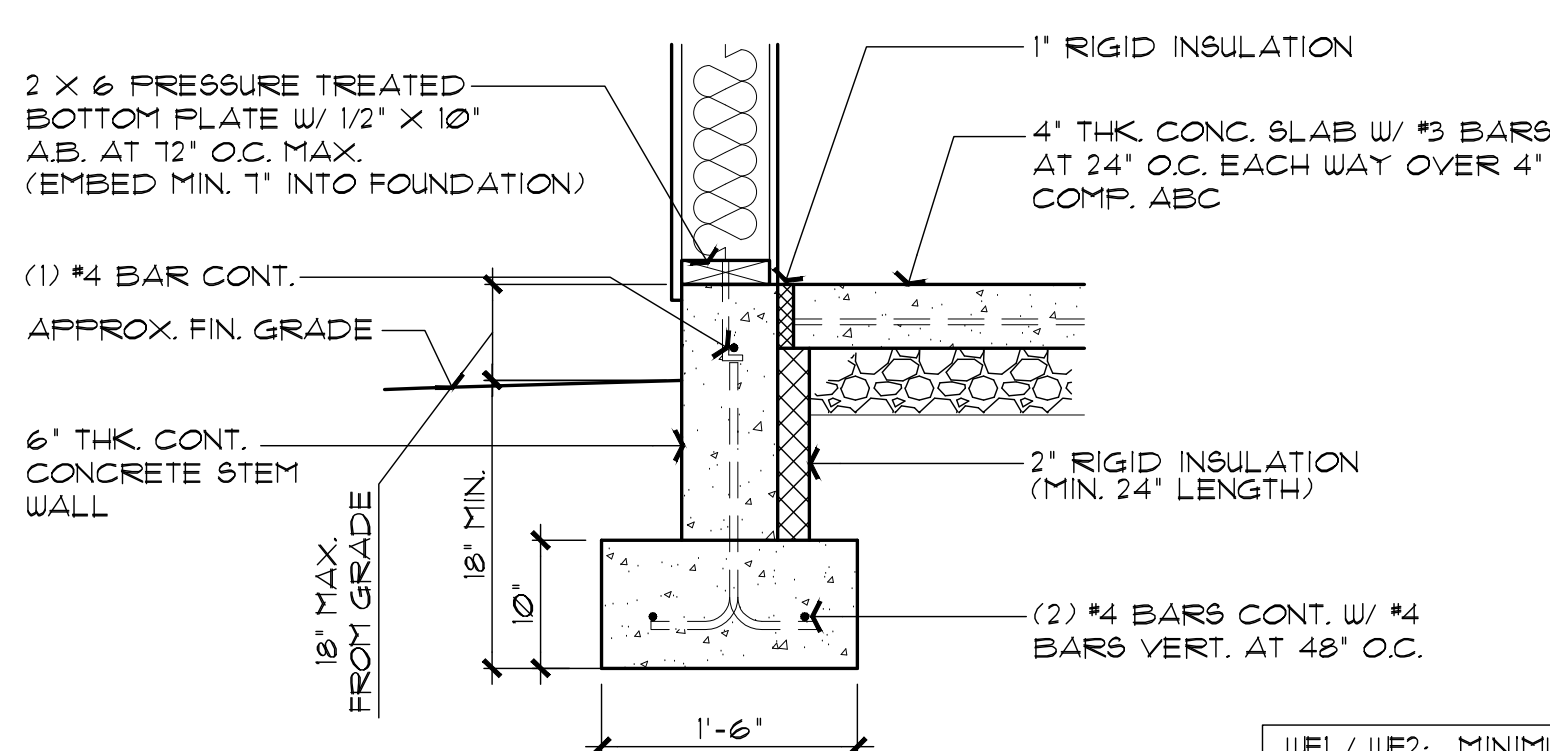
1 ROOF OVERHANG DETAIL
 SCALE: 1" = 1'-0"



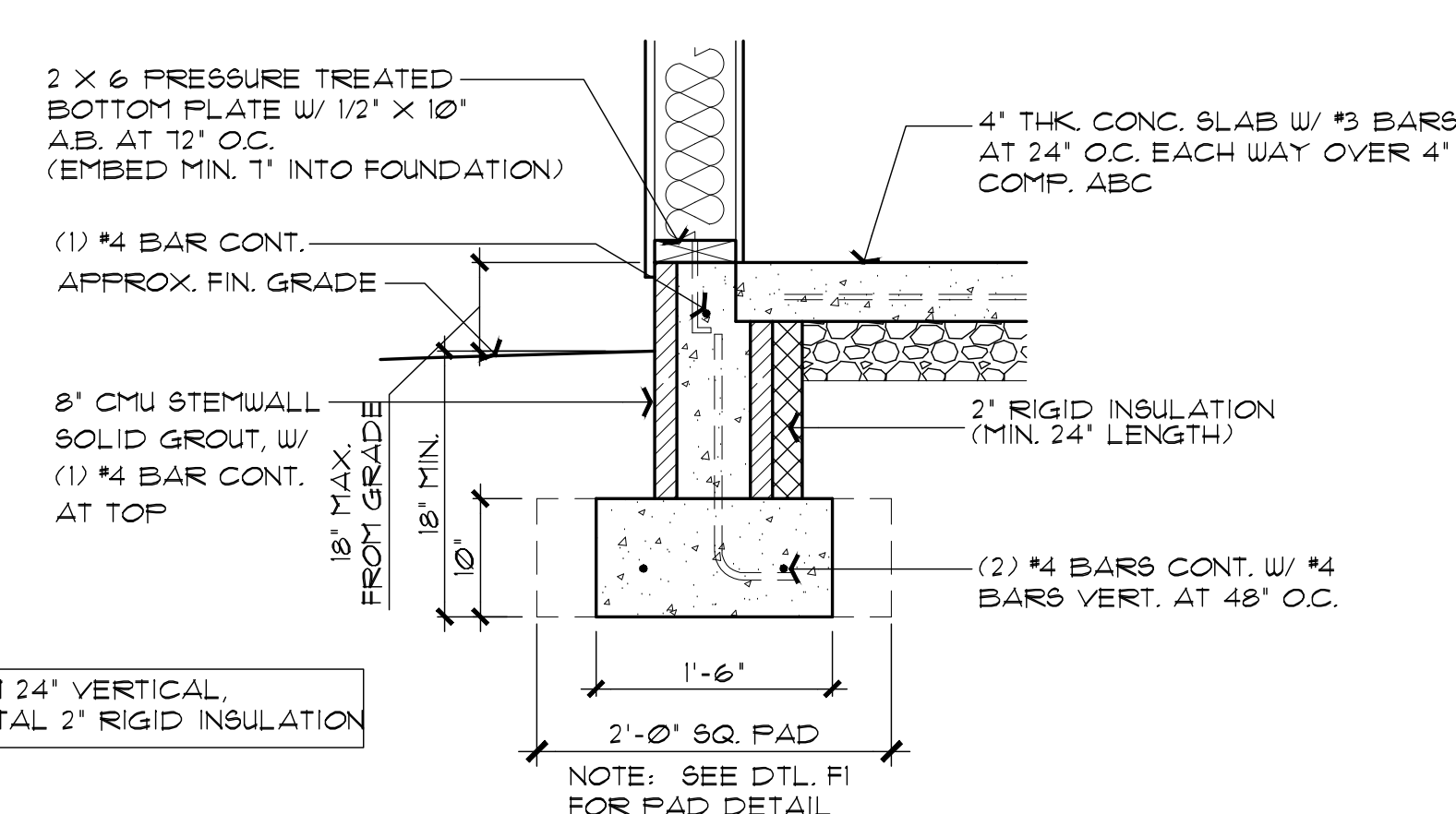
2 ROOF OVERHANG AT BEAM DETAIL
 SCALE: 1" = 1'-0"



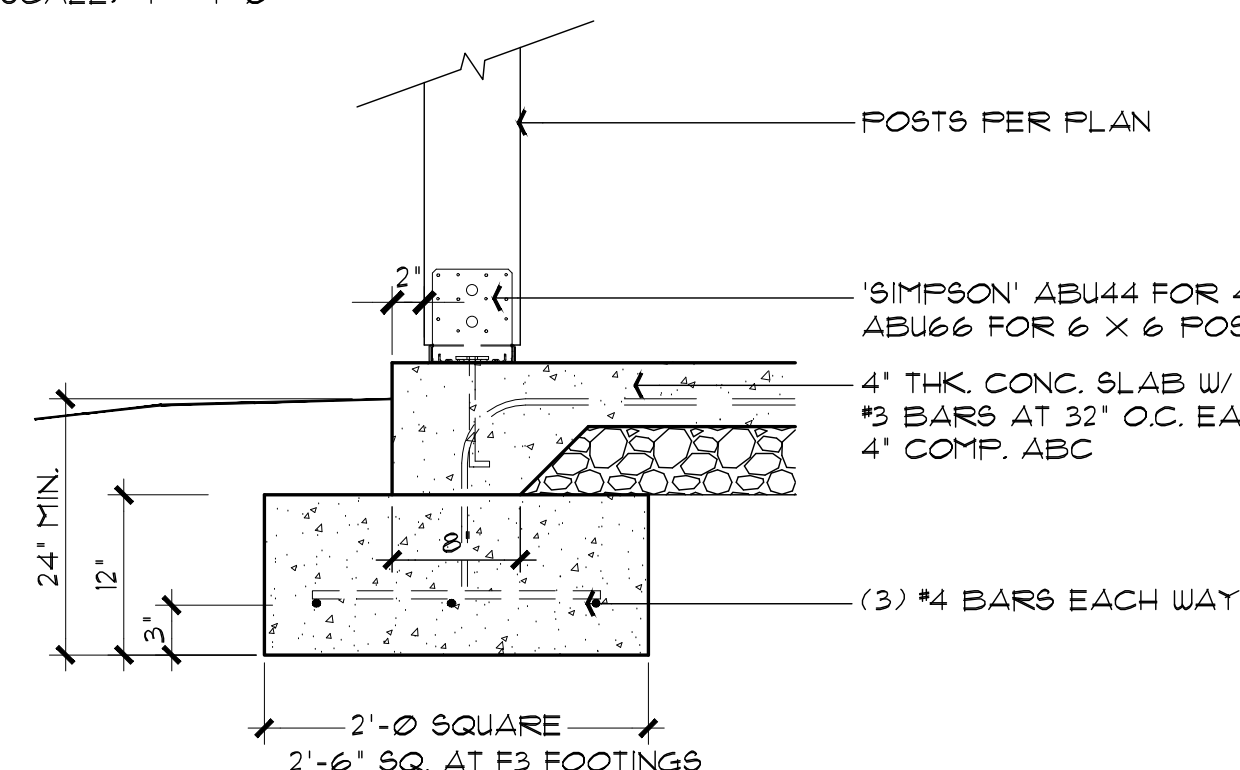
3 GABLE END-WALL DETAIL
 SCALE: 1" = 1'-0"



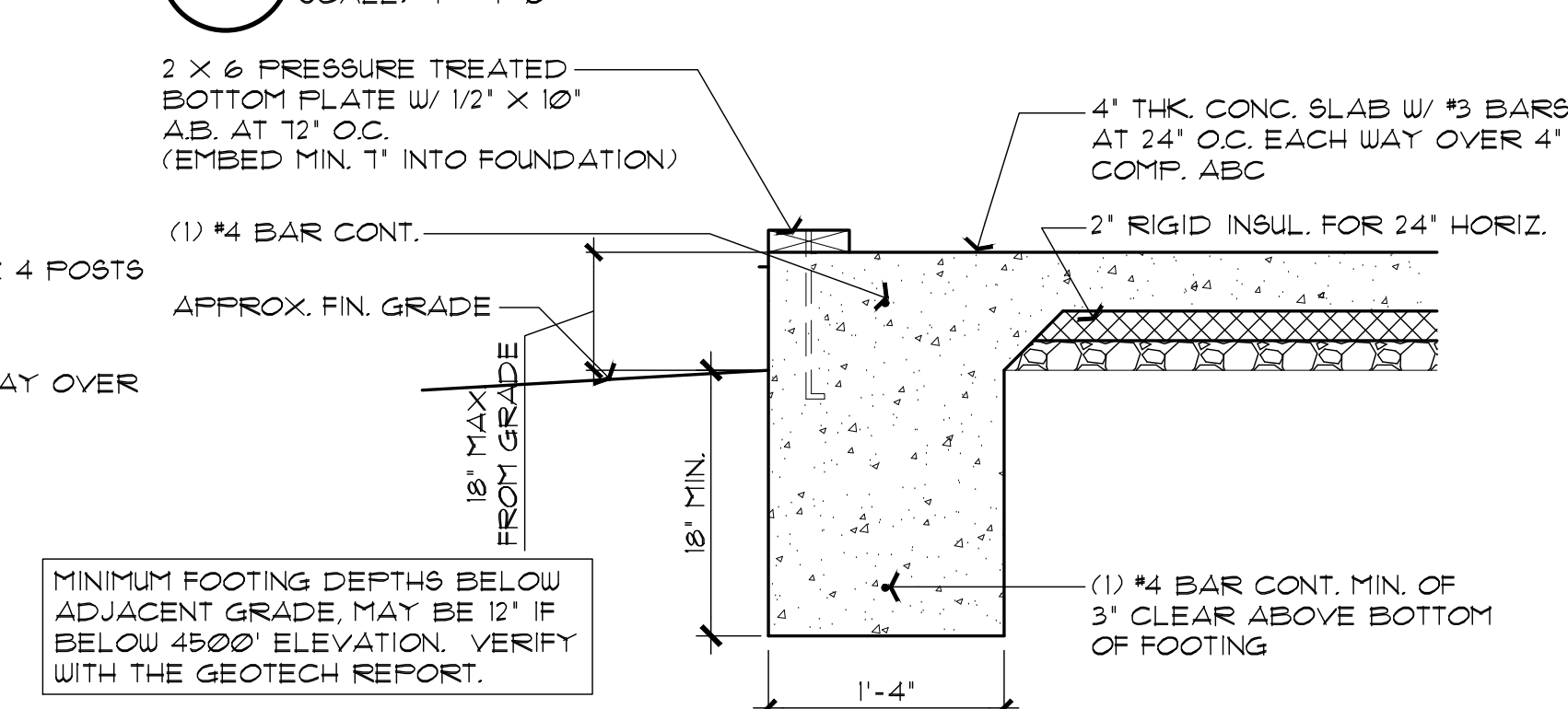
WF1 CONCRETE STEM WALL OPTION
 SCALE: 1" = 1'-0"



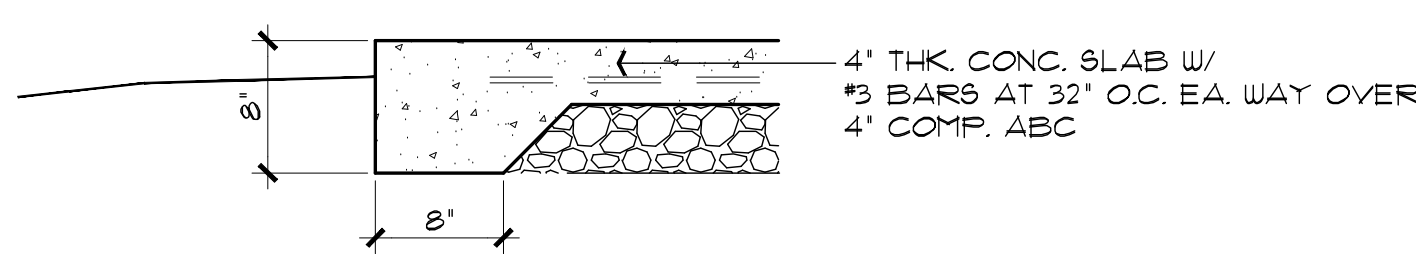
WF2 CMU STEM WALL OPTION
 SCALE: 1" = 1'-0"



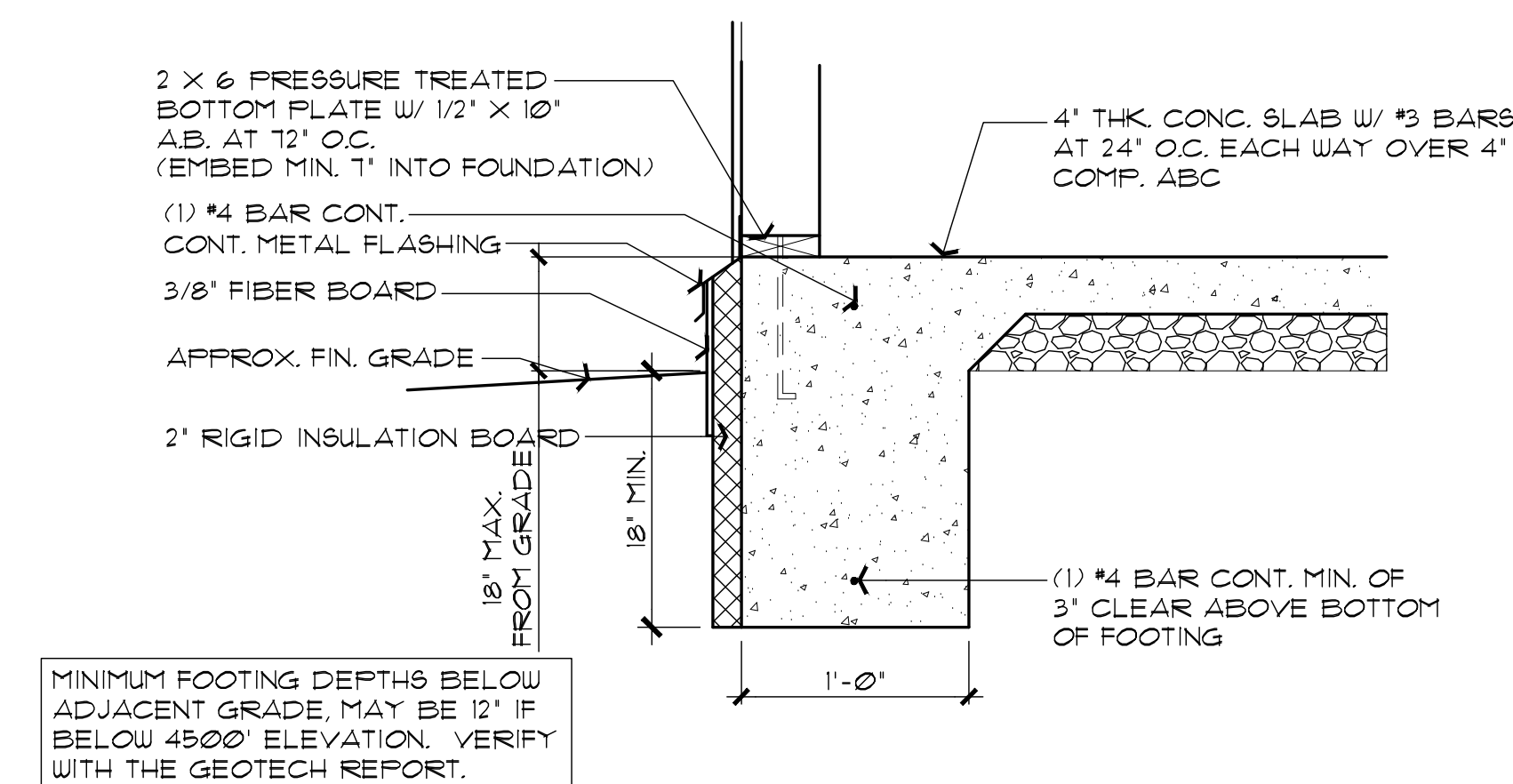
F1/F3 POST BASE FOOTING
 SCALE: 1" = 1'-0"



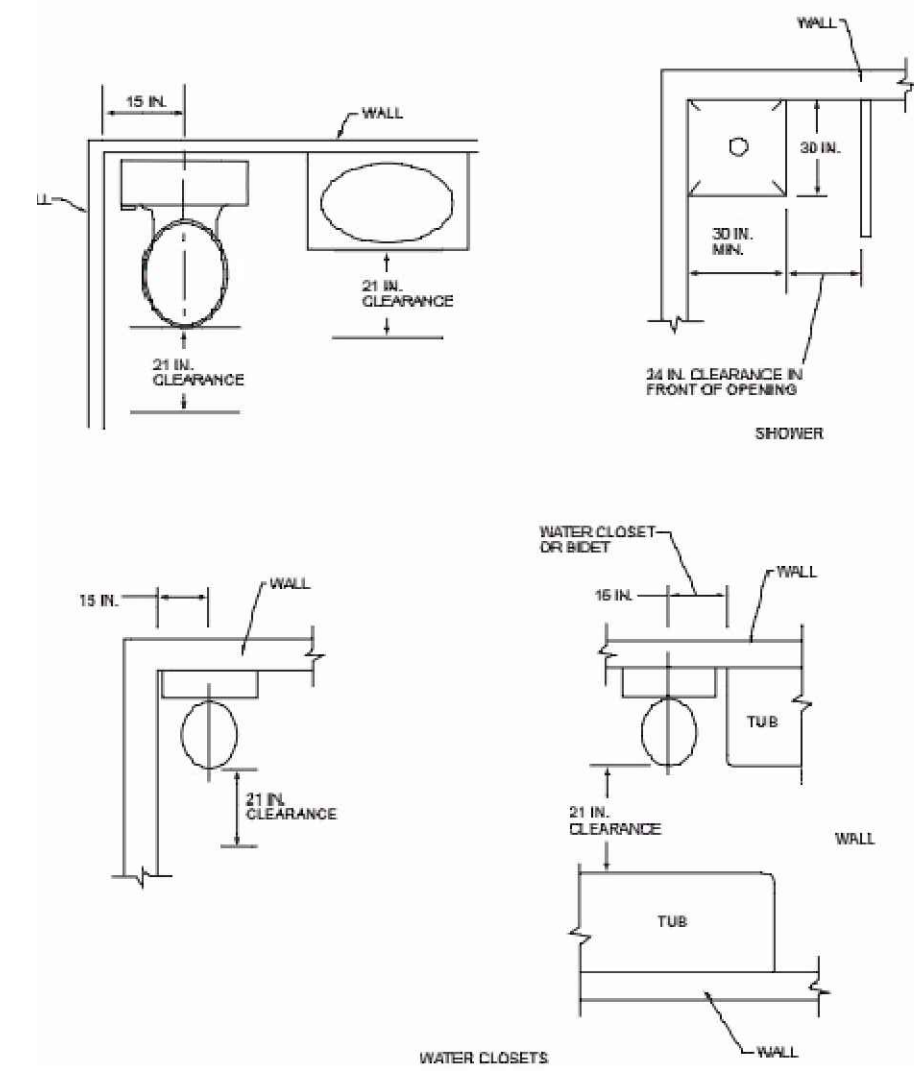
WF3 MONOLITHIC FOOTING OPTION
 SCALE: 1" = 1'-0"



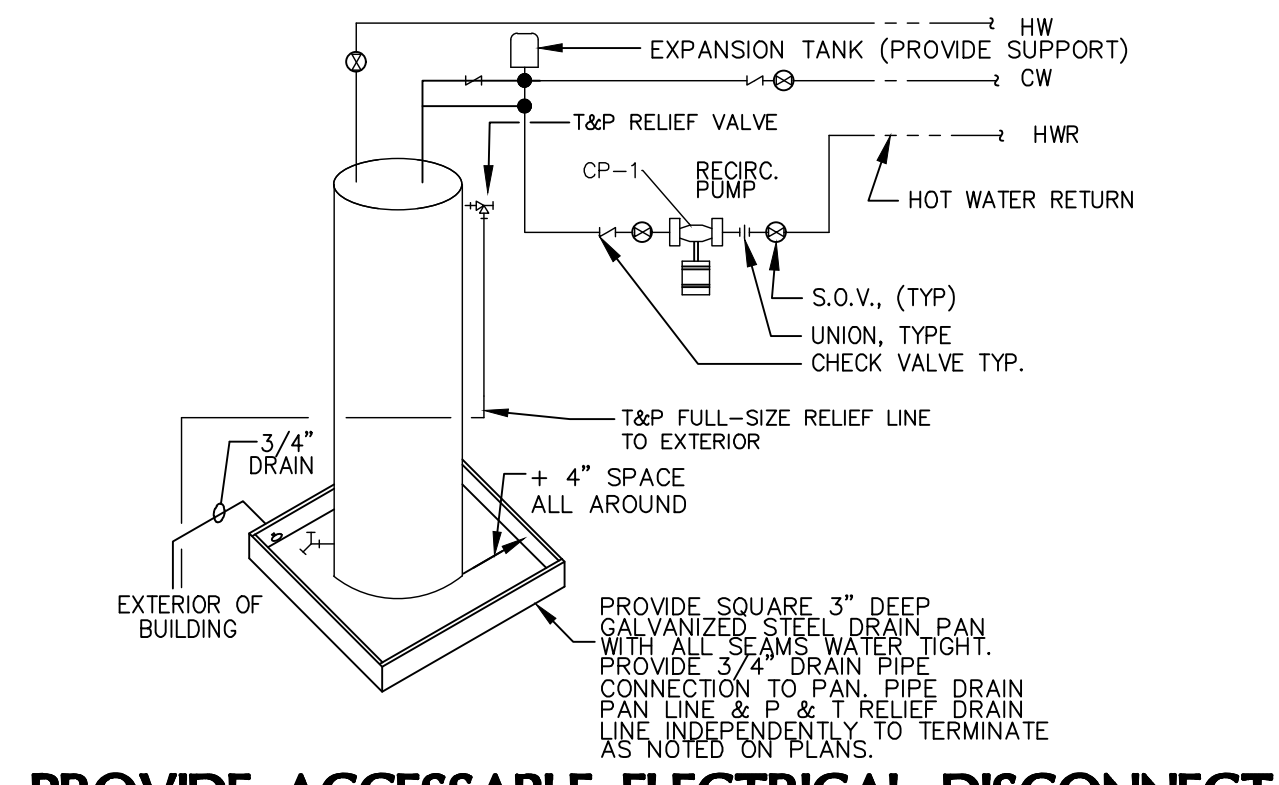
F2 TYPICAL TURN-DOWN FOOTING
 SCALE: 1" = 1'-0"



WF4 MONOLITHIC FOOTING OPTION WITH EXTERIOR SLAB INSULATION
 SCALE: 1" = 1'-0"

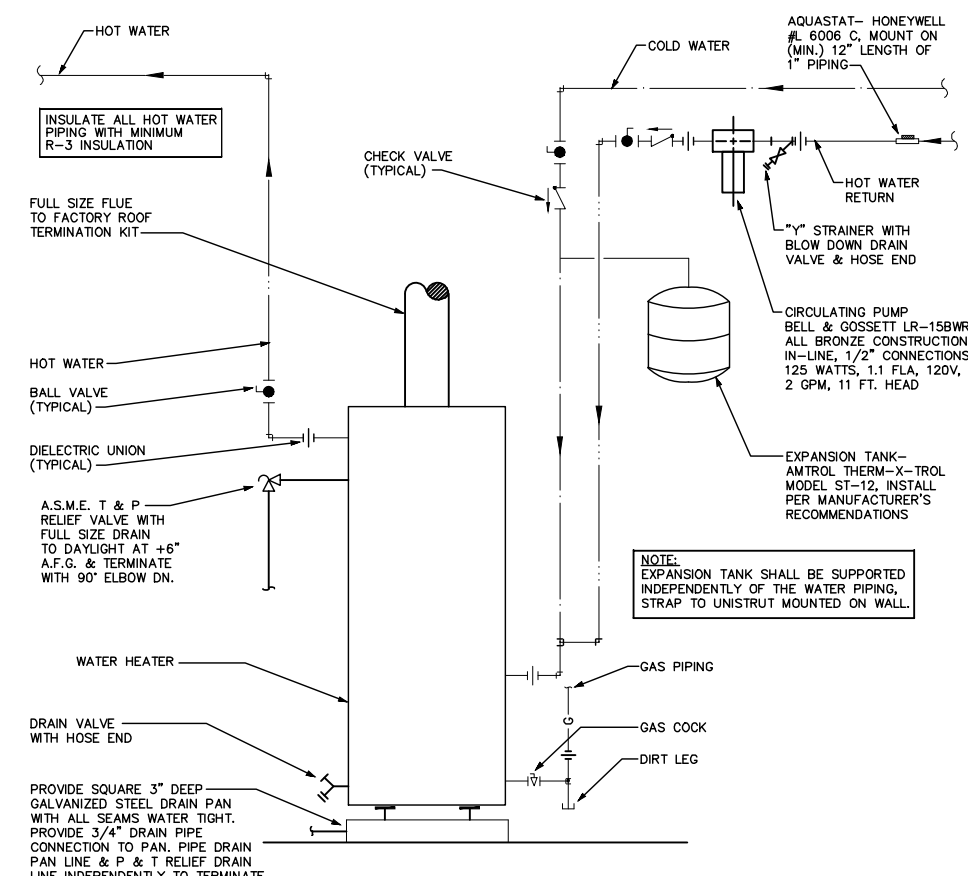


PLUMBING FIXTURE CLEARANCES
NO SCALE PER IRC FIGURE R321.1



PROVIDE ACCESSABLE ELECTRICAL DISCONNECT ELECTRIC WATER HEATER
NO SCALE

NOTE: DRAIN PAN, AND T&P MUST DRAIN BY GRAVITY. WATER HEATER SHALL BE HIGH ENOUGH OFF THE FLOOR TO PROVIDE FOR DISCHARGE PIPING TO EXTERIOR.

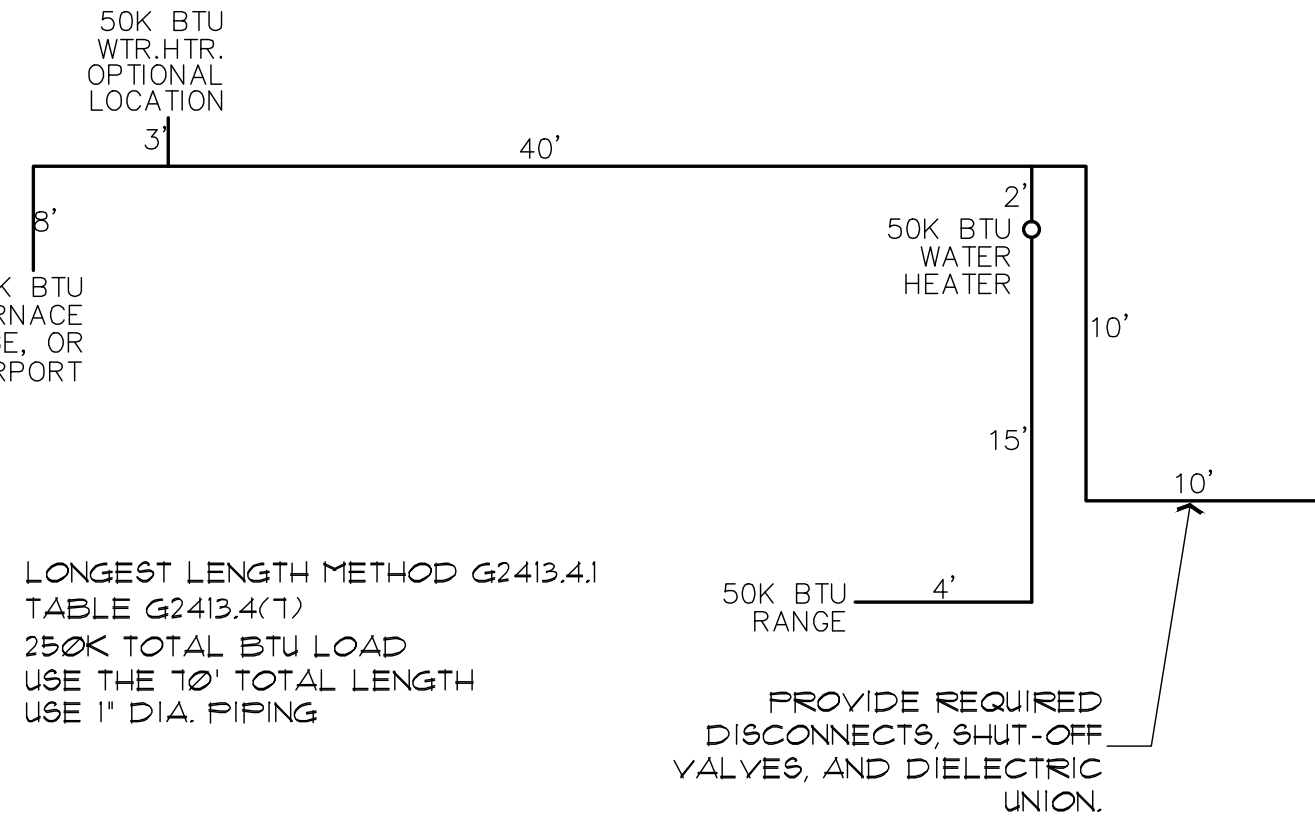


GAS WATER HEATER OPTION
NO SCALE

HVAC/PLUMBING GENERAL NOTES:

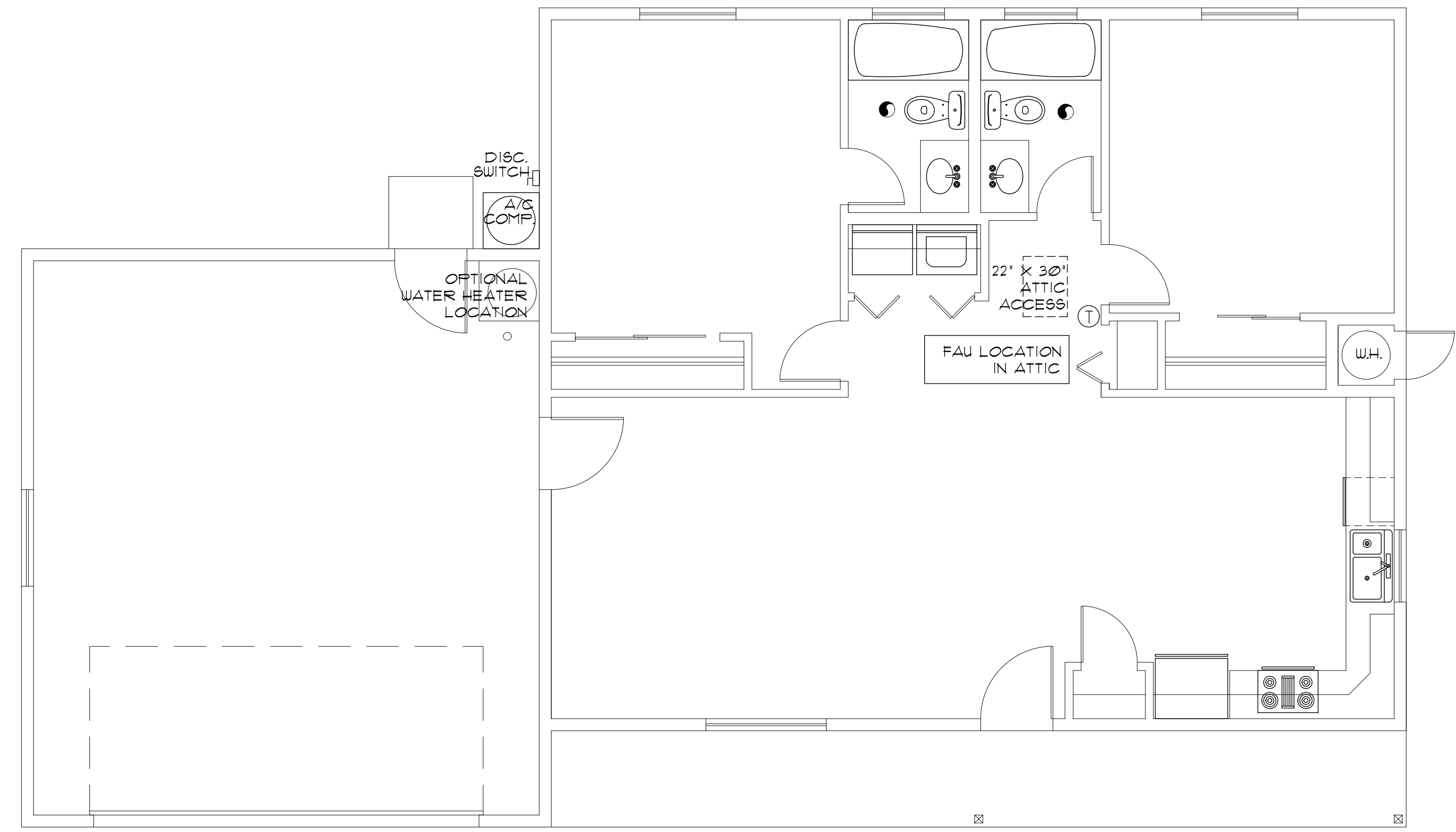
1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION.
2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.
3. WATER HEATER RELIEF VALVE SHALL EXTEND OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2' NOR LESS THAN 6' ABOVE THE GROUND AND POINTING DOWNWARD.
4. PROVIDE A FAN, AND DRAIN FOR THE WATER HEATER.
5. THE CLOTHES DRYER EXHAUST DUCT SHALL BE AT LEAST THE DIAMETER OF THE APPLIANCE OUTLET AS RECOMMENDED BY THE MANUFACTURER AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING. IT SHALL NOT EXCEED 25' IN LENGTH WITH REDUCTIONS FOR BENDS. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE.
6. THE SITE PLAN SHALL INDICATE THE LOCATION OF THE GAS SOURCE, THE DISTANCE AND PIPE SIZE FROM THE SOURCE, TO THE RESIDENCE, AND THE TYPE OF FUEL (NATURAL GAS OR PROPANE).

- 1. DOOR AT WATER HEATER CLOSET SHALL BE LOUVERED FOR COMBUSTION AIR (MIN. REQUIREMENTS OF 100 SQ. INCHES OF FREE AIR).
- ☒ SUPPLY-AIR GRILL
- ☒ RETURN AIR GRILL
- ① THERMOSTAT

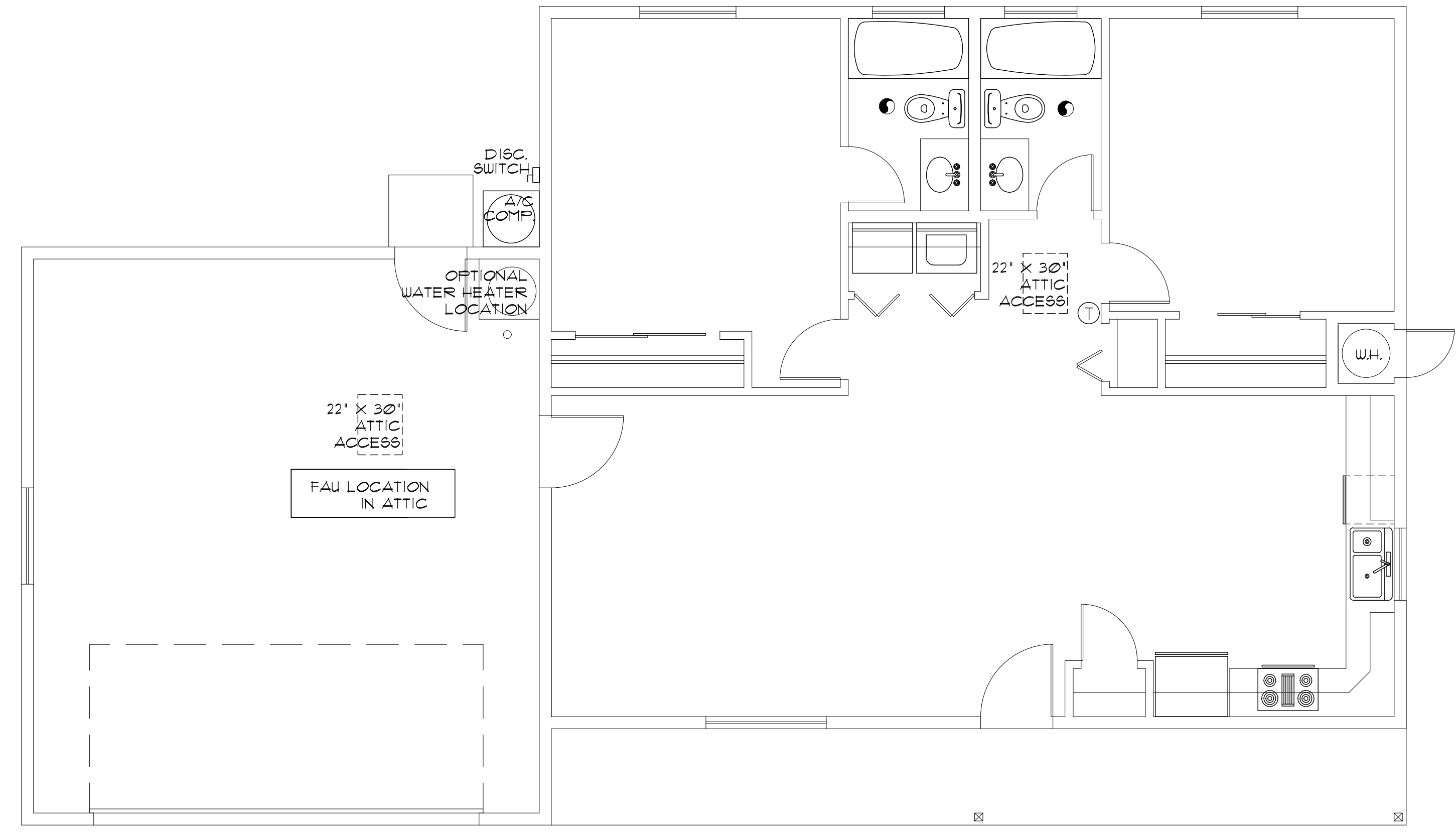


GAS PIPING ISOMETRIC
NO SCALE

NOTE: USE 1" DIA. PIPING FOR ALL FLOOR PLAN LAYOUTS.
THE PLUMBING CONTRACTOR SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.
NOTE: EXACT LENGTH FROM EXTERIOR OF STRUCTURE, TO GAS SOURCE, WILL VARY FOR EACH PROJECT. A REVISED GAS ISOMETRIC WILL BE REQUIRED IF THE LOCATION OF THE LP/NG SOURCE EXCEEDS 10' FROM THE STRUCTURE



HVAC PLAN (furnace in attic above habitable area)
SCALE: 1/4" = 1'-0"



HVAC PLAN (furnace in attic above Garage, or Carport)
SCALE: 1/4" = 1'-0"

2BD/2BA
Job no. : LEFT PARKING
Date : JUNE 22, 2026
Drawn by: MFR
Chk'd by: MFR
Scale : AS NOTED
Revisions:

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
markrogers914@gmail.com

**MECHANICAL PLANS
DETAILS / NOTES
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING**

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
SNOWFLAKE, AZ 85937

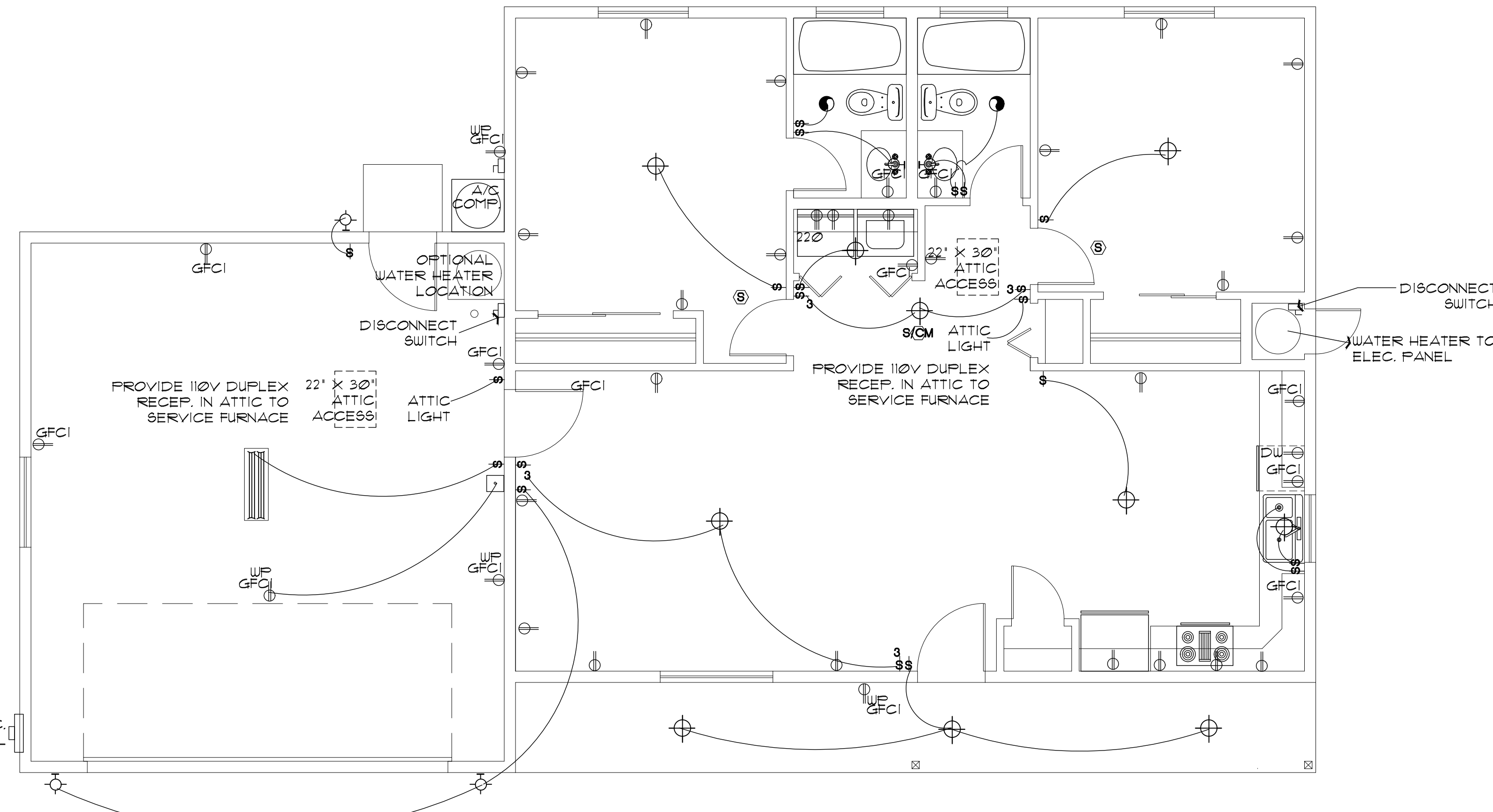
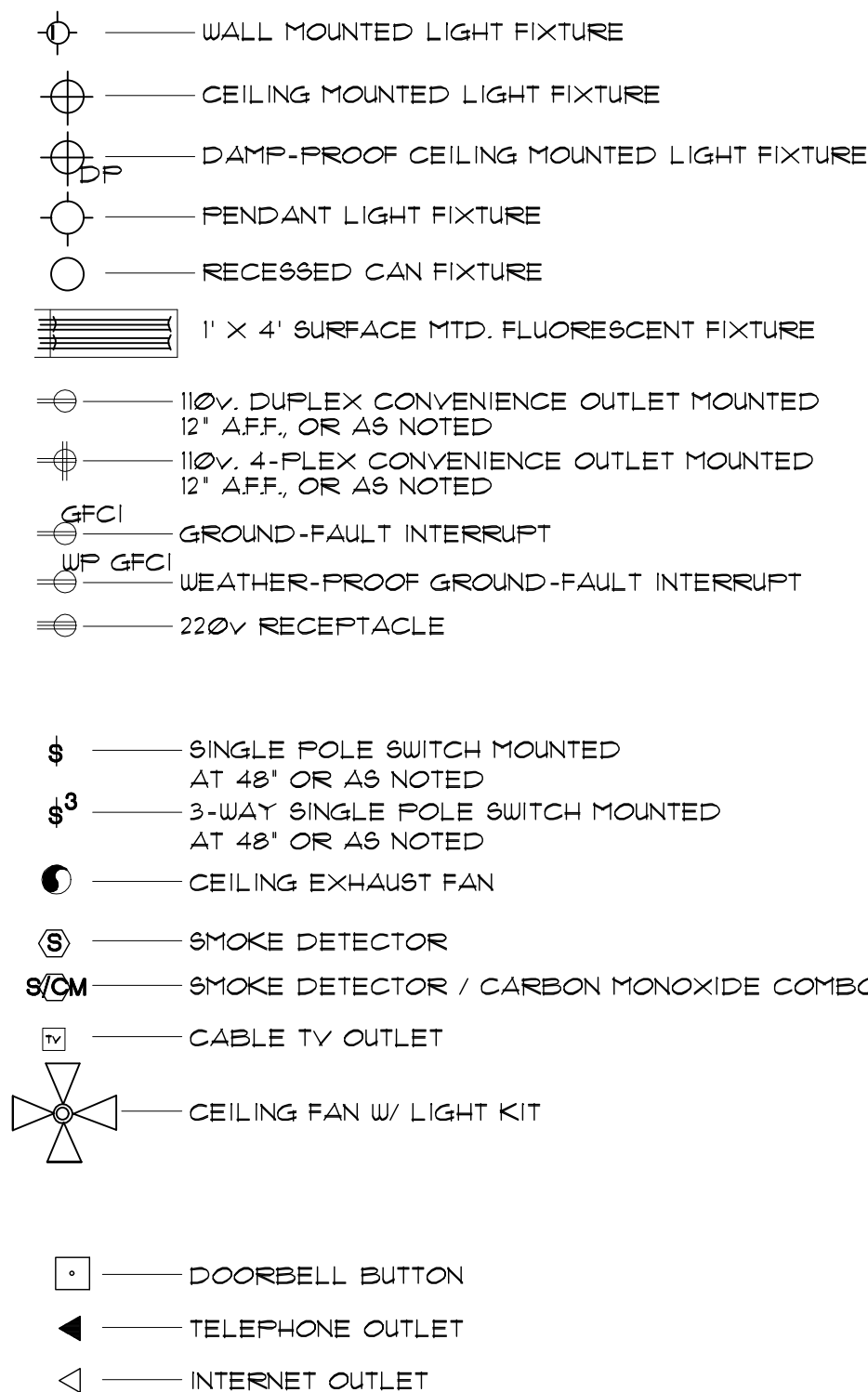
SHEET NO:

M-1.0

ELECTRICAL GENERAL NOTES

- ALL WORKMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO NEC - 2023 EDITION.
- ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS SO THAT NO PART OF THE WALL IS MORE THAN 6' FROM AN OUTLET. WALL SECTIONS 2' OR LARGER 4' KITCHEN COUNTERS WIDER THAN 12' SHALL BE SERVICED BY A RECEPTACLE.
- ALL RECEPTACLES IN BATHROOMS, OUTSIDE 4' WITHIN 6' OF WATER SOURCE SHALL BE GFCI.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED ON SEPARATE CIRCUIT 4' SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING 4' SHALL HAVE BATTERY BACKUP. CONNECT NEW SMOKE DETECTORS TO NEW AUDIBLE SYSTEM INSIDE EXISTING RESIDENCE.
- LIGHTS IN CLOSETS SHALL BE 10' FROM SHELVING (MEASURED HORIZTL. OR BE RECESSED).
- PROVIDE MINIMUM TWO 20A BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, EATING AREA, A SEPARATE 20A BRANCH CIRCUIT TO THE LAUNDRY EQUIP., AND A SEPARATE 20A BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE 15 & 20 AMP OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTERS INSTALLED TO PROVIDE PROTECTION.
- FIXTURES, FITTINGS, BOXES AND RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL BE LISTED TO BE SUITABLE FOR SUCH CONDITIONS.
- CONTRACTOR TO EMBED 30' OF #4 AWG COPPER WIRE IN FOOTING FOR ELECTRICAL SERVICE GROUND. PROVIDE BONDING TO THE INTERIOR WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEM.
- IN KITCHEN AND DINING ROOMS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12' OR WIDER SO THAT AT NO POINT ALONG THE WALL IS MORE THAN 24' FROM A RECEPTACLE OUTLET AND SHALL BE GFCI PROTECTED.
- PROVIDE AT LEAST ONE WEATHER PROOF RECEPTACLE OUTLET NOT MORE THAN 6'-6" ABOVE GRADE AND GFCI PROTECTED. AT THE FRONT AND BACK OF EACH DWELLING ALL RECEPTACLES INSTALLED OUTDOORS MUST BE GFCI PROTECTED.
- NOT USED
- IN ATTICS, A SERVICE OUTLET 4' LIGHTING FIXTURE LOCATED NEAR THE APPLIANCE REQUIRING SERVICE SHALL BE CONTROLLED BY A SWITCH AT THE ENTRY OF THE ATTIC. (REQUIRED FOR ATTIC MOUNT FURNACES)
- 125-VOLT THROUGH 250-VOLT RECEPTACLES THAT SERVE KITCHENS, FOOD AND/OR BEVERAGE PREPARATION AREAS, COOKING AREAS, AREAS LOCATED WITHIN 6' OF THE TOP INSIDE EDGE OF THE BOWL OF A SINK, WITHIN 6' OF THE OUTSIDE EDGE OF A SHOWER STALL OR BATHTUB, LAUNDRY AREAS, AND INDOOR DAMP AND WET LOCATIONS SERVED BY SINGLE-PHASE BRANCH CIRCUITS RATED 150 VOLTS OR LESS TO GROUND SHALL BE GFCI PROTECTED PER E3302.6-11
- GFCI PROTECTION SHALL BE PROVIDED FOR THE BRANCH CIRCUIT OR OUTLETS SUPPLYING THE FOLLOWING APPLIANCES RATED 150 VOLTS OR LESS TO GROUND AND 60 AMPERES OR LESS SINGLE OR THREE-PHASE:
 - 15.1 DRINKING WATER COOLERS AND BOTTLE FILL STATIONS
 - 15.2 HIGH-PRESSURE SPRAY WASHING MACHINES
 - 15.3 PUMP PUMPS
 - 15.4 DISHWASHERS
 - 15.5 ELECTRIC RANGES
 - 15.6 WALL-MOUNTED OVENS
 - 15.7 COUNTER-MOUNTED COOKING UNITS
 - 15.8 CLOTHES DRYERS
 - 15.9 MICROWAVE OVENS
- WHOLE HOUSE SURGE PROTECTION REQUIRED PER E3606.5
- ALL WIRING TO BE 12 AWG MINIMUM FOR 20-AMP CIRCUITS 4' BREAKERS. SEPARATE LIGHTING MAY USE 14 AWG WITH 15-AMP BREAKERS.

ELECTRICAL SYMBOLS



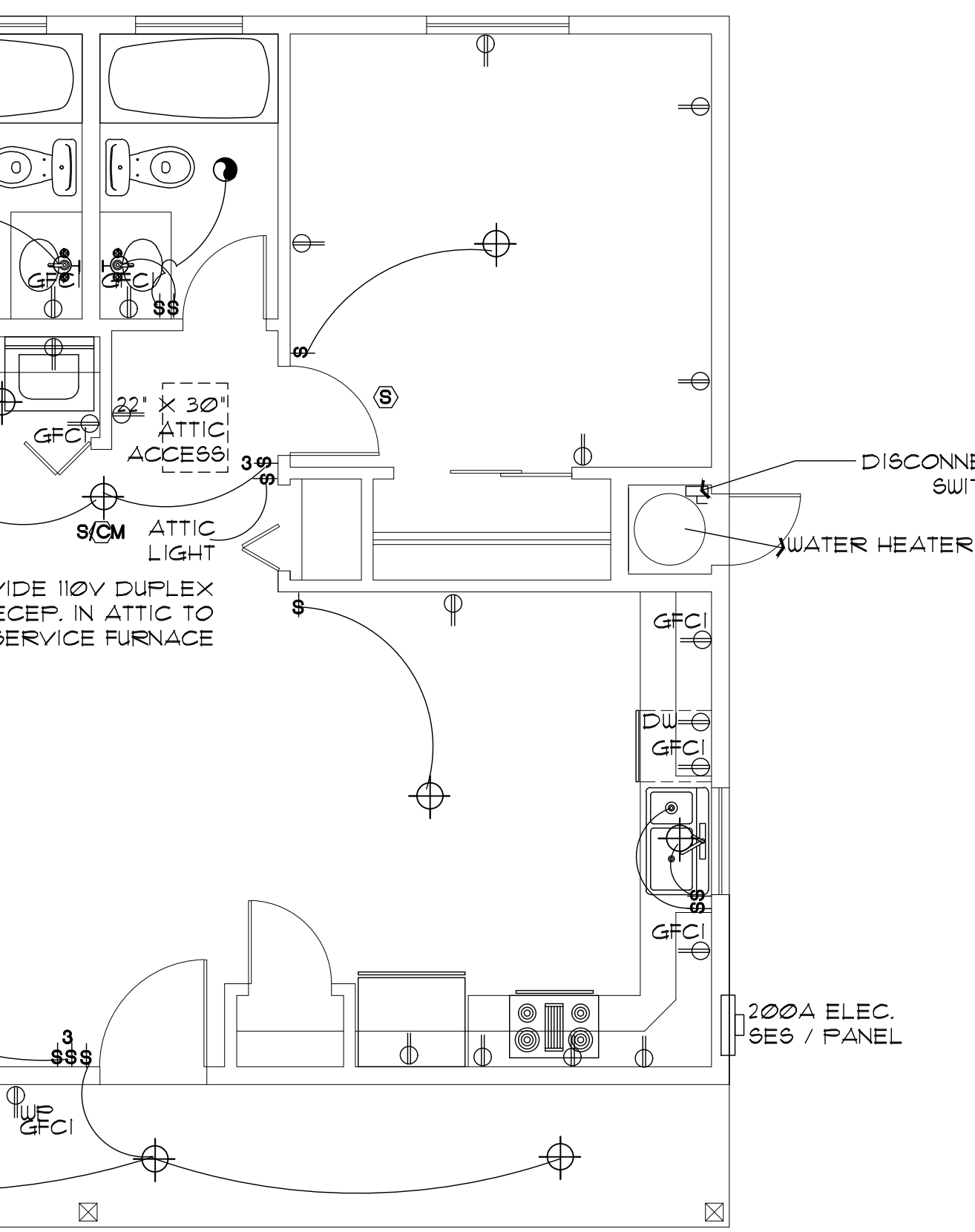
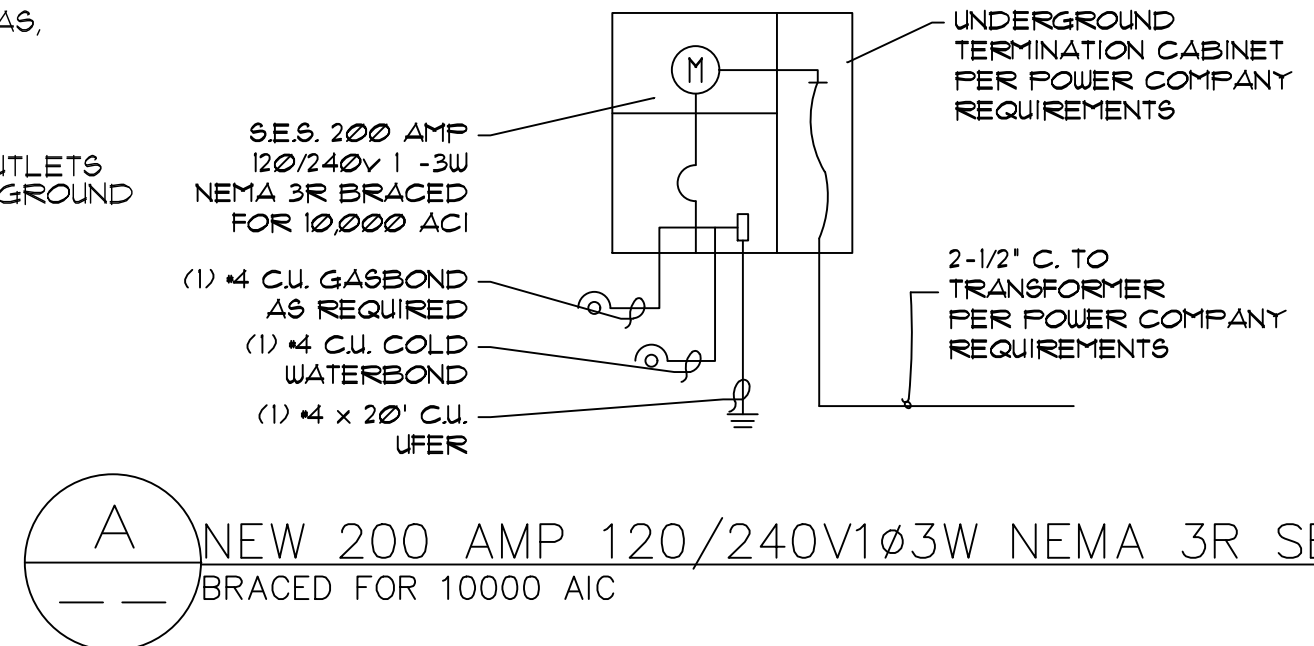
ELECTRICAL PLAN (with Garage option)

SCALE: 1/4" = 1'-0"

MAIN HOUSE LOAD CALC'S

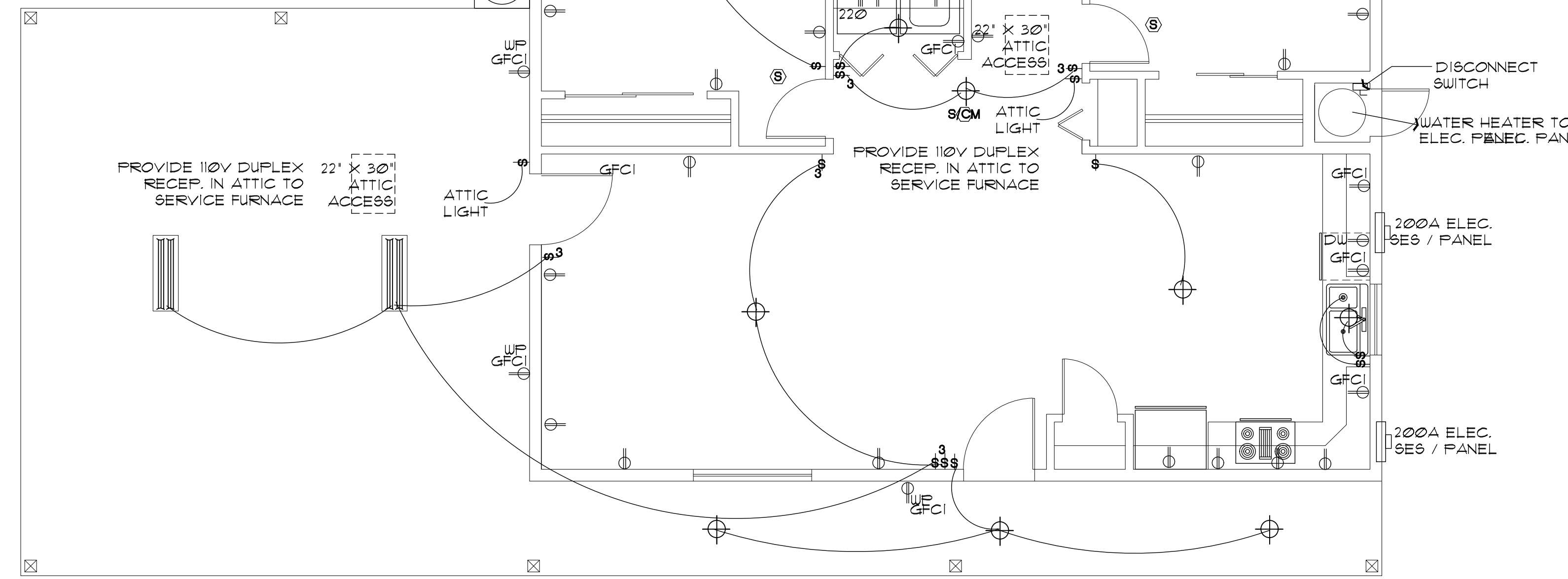
| | |
|---|-------------------|
| RESIDENCE, 1080 SQ FT @ 3 WPST | 3240 WATTS |
| ALTERNATE GARAGE/CARPORT 517 SQ. FT. @ 2 WPST | 1034 WATTS |
| TOTAL= | 4274 WATTS |
| APPLIANCE CKT'S (2)= | 3000 |
| RANGE-OVEN (1)= | 12000 |
| REFRIGERATOR (1)= | 1500 |
| MICROWAVE (1)= | 1500 |
| DISHWASHER (1)= | 1500 |
| DISPOSALS (1)= | 1500 |
| WASHER (1)= | 1500 |
| DRYER (1)= | 5000 |
| WATER HEATER (1)= | 4500 |
| LAUNDRY CIRCUIT (1)= | 1500 |
| ALT 1 GARAGE DOOR OPENER= | 1500 |
| EV CHARGER (1)= | 4500 |
| TOTAL GEN LOAD= | 43774 |
| 1ST 10000 WATTS @ 100%= | 10000 WATTS |
| REMAINING 33774 @ 40%= | 13510 |
| 1ST C/U & A/H (3T OR 10KW HEAT STRIP)= | 14000 |
| TOTAL LOAD= | 37510 |
| 32950/240VAC= | 156.29 AMPS |

200 AMP SERVICE ADEQUATE



ELECTRICAL PLAN (without Garage, or Carport option)

SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN (with Carport option)

SCALE: 1/4" = 1'-0"

2BD/2BA
Job no. : LEFT PARKING
Date : JUNE 22, 2026
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

This design is the sole property of Mark Rogers, Architect, PLLC. Use of this design has been granted to Town of Snowflake Government with the drawings provided. These drawings are not to be reproduced, or copied in whole or in part, for use by any entity other than Town of Snowflake Government. It is only to be used for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request.

Mark Rogers, Architect, PLLC 2026©



Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
markrogers914@gmail.com

ELECTRICAL PLAN SYMBOL SCHEDULE / NOTES
PHASE TWO - 2 BDRM / 2 BATH - LEFT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH
SNOWFLAKE, AZ 85937

SHEET NO:

E-1.0