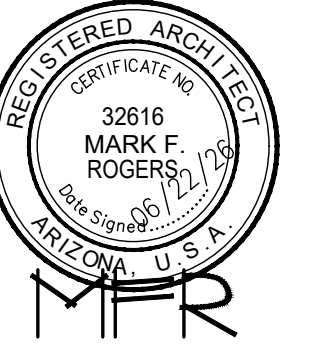


1BDRM/1BA
 Job no. : RIGHT PARKING
 Date : 06/16/2026
 Drawn by: MFR
 Chk'd by: MFR
 Scale : AS NOTED
 Revisions:

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Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 architect914@cableone.net

PROPERTY OF TOWN OF SNOWFLAKE, AZ

COVER SHEET
 1 BEDROOM / 1 BATH - RIGHT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH,
 SNOWFLAKE, AZ 85937

SHEET NO:
CS

TOWN COUNCIL
 BYRON LEWIS, MAYOR
 MARK SHEEN, VICE MAYOR
 REID STINNETT, COUNCIL MEMBER
 TRAVIS KAY, COUNCIL MEMBER
 CORY JOHNSON, COUNCIL MEMBER
 JOSEPH BJORNIN, COUNCIL MEMBER
 GREG BRIMHALL, COUNCIL MEMBER



BUILDING DEPARTMENT
 BRIAN RICHARDS, TOWN MANAGER/FINANCE DIRECTOR
 BRUCE MEYER, COMMUNITY DEV./PLANNING & ZONING

HOME SWEET HOME

Phase One

Single-Family Housing

ONE BEDROOM / ONE BATH - RIGHT PARKING

for

Snowflake, Arizona

81 WEST 1ST STREET SOUTH

SNOWFLAKE, AZ 85937

PROPERTY OF TOWN OF SNOWFLAKE, AZ

INDEX TO DRAWINGS	
CS	COVER SHEET W/ PROJECT INFORMATION
A-1.0	FLOOR PLAN / OPENING SCHEDULES
A-1.1	GARAGE ALTERNATE SHEET
A-2.0	FOUNDATION PLAN / ROOF FRAMING PLAN / DETAILS
A-2.1	BRACED WALL PLAN
A-3.0	EXTERIOR ELEVATIONS / BLDG. SECTIONS
ME-1	HVAC / ELECTRICAL PLANS

PROJECT INFORMATION	
ALL WORK SHALL CONFORM TO ALL TOWN OF SNOWFLAKE ADOPTED CODES, ORDINANCES AND POLICIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 2024 INTERNATIONAL RESIDENTIAL CODE (IRC) 2024 INTERNATIONAL PLUMBING CODE (IPC) 2024 INTERNATIONAL MECHANICAL CODE (IMC) 2023 NATIONAL ELECTRIC CODE (NEC)	
LIVABLE:	607 SQ. FT.
CARPORT/ALT. GARAGE:	240 SQ. FT.
COVERED ENTRY:	33 SQ. FT.
TOTAL UNDER ROOF:	880 SQ. FT.
OCCUPANCY:	R-3 (Single-Family Residential)
CONSTRUCTION TYPE:	V-B

THESE HOMES WERE DESIGNED FOR A MAXIMUM 45 PSF SNOW LOAD. THEY WERE NOT DESIGNED FOR A TILE ROOF.

BE ADVISED: TRUSS CALCULATIONS ARE TO BE PROVIDED AT FRAMING INSPECTION. TRUSSES MUST ACCURATELY REFLECT THE CONDITIONS OF THE DESIGN. FAILURE TO PROVIDE SITE ACCURATE TRUSS CALCULATIONS WILL RESULT IN DELAYS AND MAY REQUIRE THE PROJECT TO STOP AND BE PROCESSED AS A NEW CUSTOM HOME.

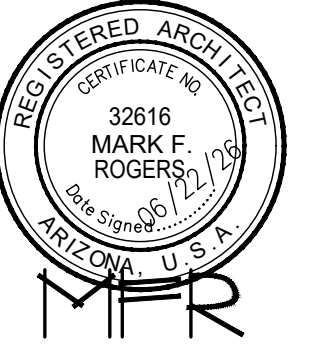
BE ADVISED: ALTERATIONS OR MODIFICATIONS TO PLANS WILL NOT BE ACCEPTED (BEFORE OR DURING CONSTRUCTION) - NO EXCEPTIONS. IF CHANGES ARE MADE, THE ORIGINAL PERMIT WILL BE VOIDED AND A NEW CUSTOM HOME PERMIT WITH NEW PLANS ARE REQUIRED. THE NEW PERMIT WILL BE PROCESSED AS A CUSTOM HOME AND IS SUBJECT TO ALL APPLICABLE FEES AND PROCESSING TIMES (REDUCED FEES AND REVIEW TIMES WILL NO LONGER APPLY).

GENERAL NOTES

1. DUE TO REPROGRAPHIC PROCESS, THESE PLANS MAY NOT BE ACCURATE TO SCALE. DIMENSIONS ARE NOT TO BE SCALED FROM THE WORKING DRAWINGS.
2. BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, CONTRACTORS SHALL VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DEVIATION AND/OR UNSAFE OR UNREGULATED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF TOWN OF SNOWFLAKE PERSONNEL.
3. GENERAL CONTRACTOR TO VERIFY AND LOCATE ALL UTILITY STUB OUTS AND MAINS BEFORE BEGINNING CONSTRUCTION OF PROJECT.
4. GENERAL CONTRACTOR TO VERIFY THE REMOVAL AND/OR REPLANTING OF LANDSCAPE IF THE CONDITION OCCURS OVER THE PROJECT SITE.
5. DAMAGE TO SITE, UTILITIES, OR NEWLY BUILT IMPROVEMENTS, NOT DESIGNED FOR REMOVAL, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR INVOLVED, AND SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE SAME.
6. VERIFY UNIFORMITY OF ALL FRAMING SO AS TO CREATE A SMOOTH, REGULAR FINISH WITH NO IRREGULARITIES.
7. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO THOROUGHLY REVIEW THE PLANS AND TO NOTIFY TOWN OF SNOWFLAKE OF ANY DISCREPANCIES. THE TOWN OF SNOWFLAKE, NOR THE ARCHITECT-OF-RECORD, WILL NOT BE RESPONSIBLE FOR MATERIALS IMPROPERLY ORDERED OR INSTALLED.
8. FAILURE BY THE GENERAL CONTRACTOR, OR SUB-CONTRACTORS, TO ACQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING THIS PROJECT SHALL NOT RELIEVE THEM OF THE RESPONSIBILITY TO PERFORM THEIR WORK PROPERLY.
9. APPROVAL OF ALL CONSTRUCTION IS SUBJECT TO FIELD VERIFICATION BY TOWN OF SNOWFLAKE PERSONNEL.
10. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE (1) OPERATING WINDOW OR DOOR, FOR EMERGENCY EGRESS, OPEN DIRECTLY TO A STREET, ALLEY, OR YARD.
11. ALL INTERIOR WALL, AND CEILING FINISHES SHALL BE TAPED, TEXTURED, AND PAINTED 1/2" DRYWALL. PROVIDE 'GREENBOARD' BEHIND ALL TUB ENCLOSURES.
12. ENERGY COMPLIANCE IN THE TOWN OF SNOWFLAKE IS OPTIONAL. R-VALUES SHOWN ARE RECOMMENDED MINIMUMS BASED ON LOCAL CONDITIONS.

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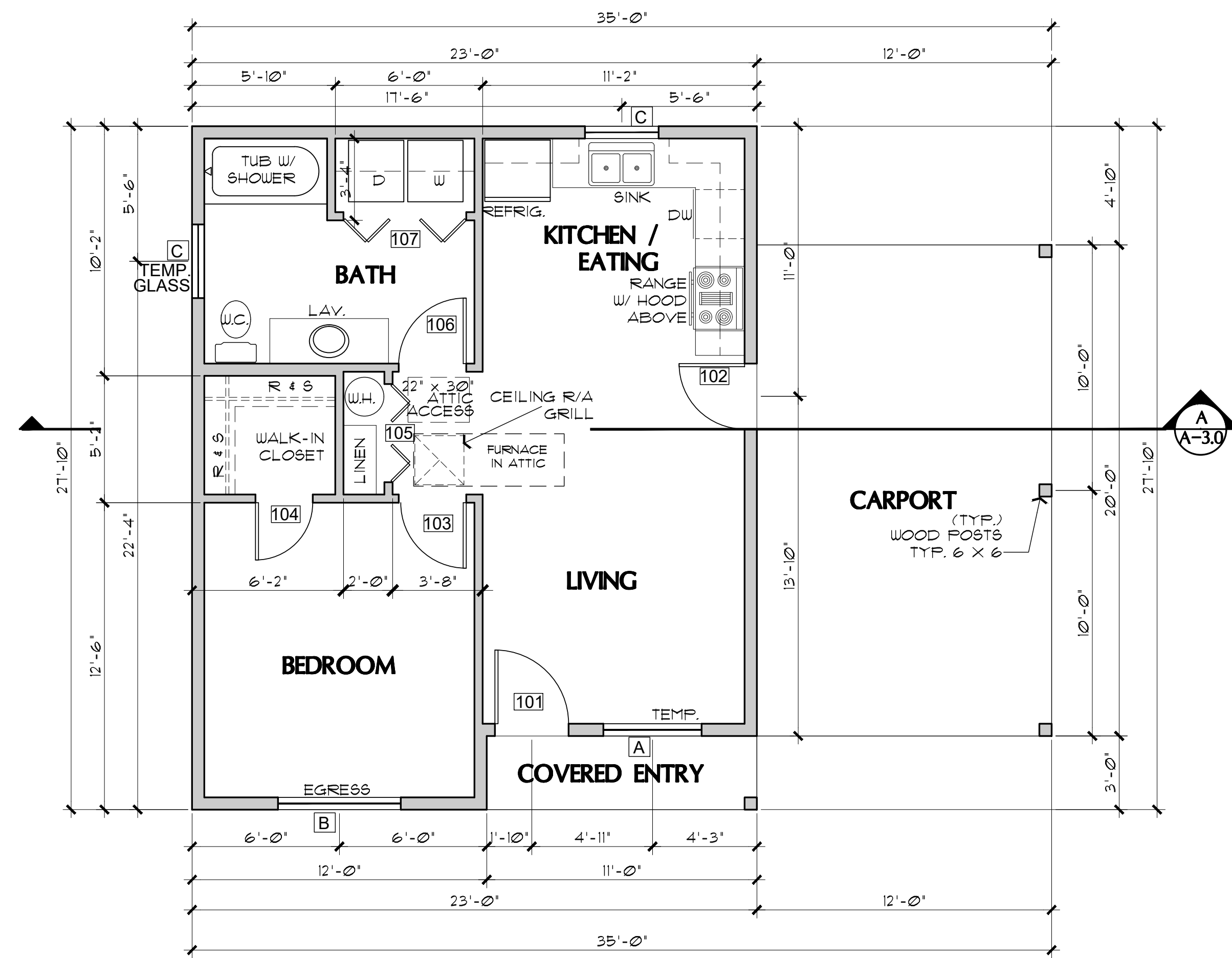
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Mark Rogers, Architect, PLLC

761 Highland Circle
 Chino Valley, Arizona 86323
 Phone: (928) 848-3516
 architect914@cableone.net

PROPERTY OF TOWN OF SNOWFLAKE, AZ



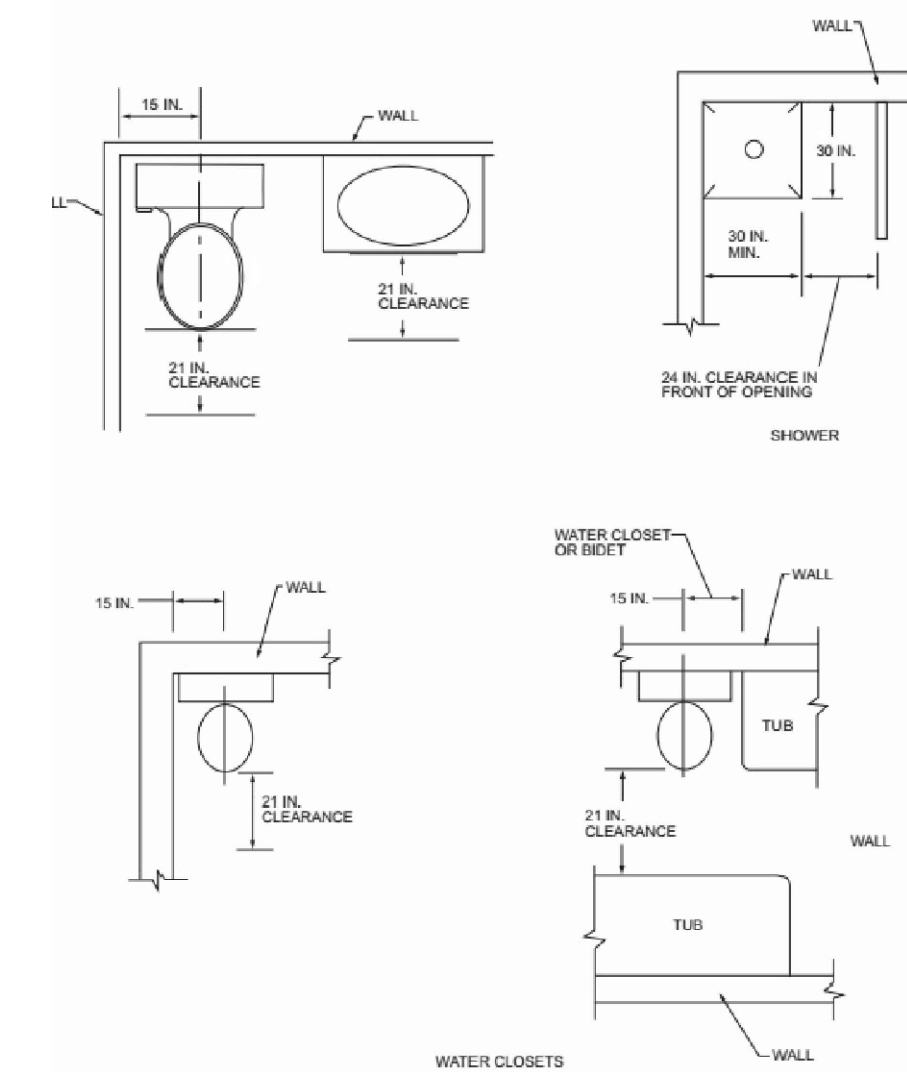
FLOOR PLAN (see sheet A-1.1 for Garage Alternate)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

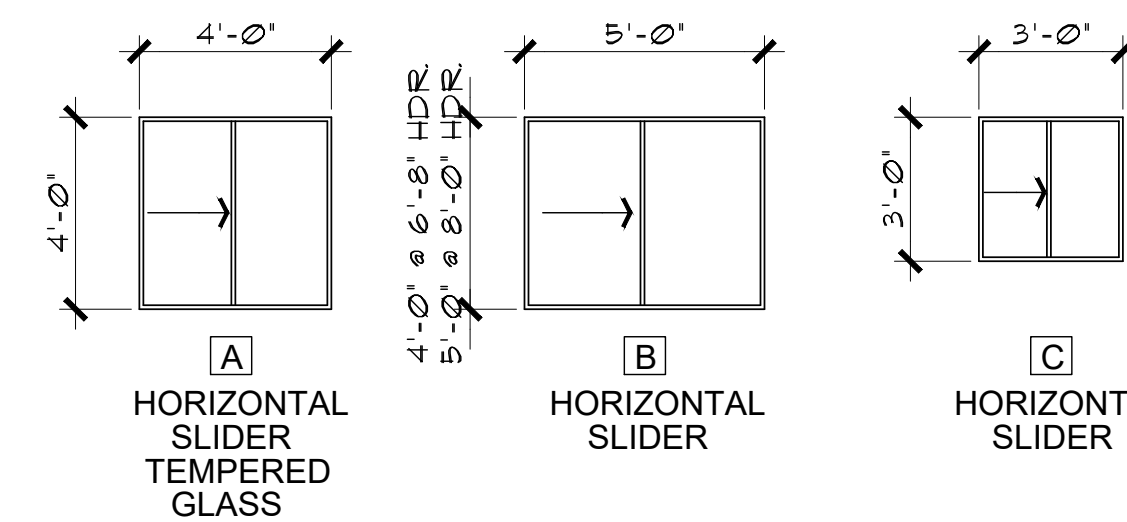
DR. #	SIZE		DOOR TYPE		REMARKS
	W.	H.	T.		
101	3'-0"	6'-8"	1-3/4"	6-PANEL SOLID-CORE WOOD	
102	2'-8"	6'-8"	1-3/4"	2-PANEL SOLID-CORE WOOD W/ TEMPERED GLASS VISION PANEL	SELF-CLOSING & SELF-LATCHING PROVIDE THRESHOLD AND WEATHERSTRIPPING
103	2'-8"	6'-8"	1-3/8"	INTERIOR 4-PANEL HOLLOW CORE	
104	2'-4"	6'-8"	1-3/8"	INTERIOR 4-PANEL HOLLOW CORE	
105	4'-0"	6'-8"	1-1/8"	LOUVERED BI-FOLD	
106	2'-8"	6'-8"	1-3/8"	INTERIOR 4-PANEL HOLLOW CORE	
107	5'-0"	6'-8"	1-1/8"	PANELED BI-FOLD	
108	2'-8"	6'-8"	1-3/8"	4-PANEL SOLID CORE FROM GARAGE	SELF-CLOSING & SELF-LATCHING PROVIDE THRESHOLD AND WEATHERSTRIPPING

NOTE: WHEN USING DOOR #2 WITH THE ALTERNATE GARAGE, SELF-CLOSING & SELF-LATCHING ARE NOT REQUIRED.



PLUMBING FIXTURE CLEARANCES

NO SCALE PER IRC FIGURE R321.1



WINDOW TYPES

SCALE: 1/4" = 1'-0"

(8' plate height - 6'-8" HDR & 9' plate height - 8'-0" HDR)

FLOOR PLAN /
 OPENING SCHEDULES
 1 BEDROOM / 1 BATH - RIGHT PARKING

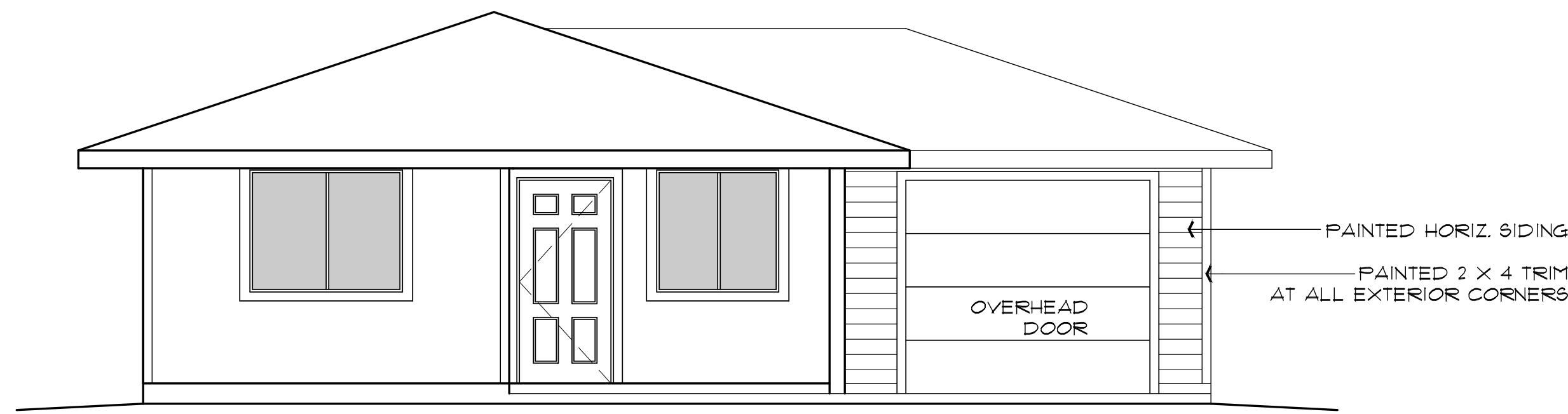
SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH,
 SNOWFLAKE, AZ 85937

SHEET NO:

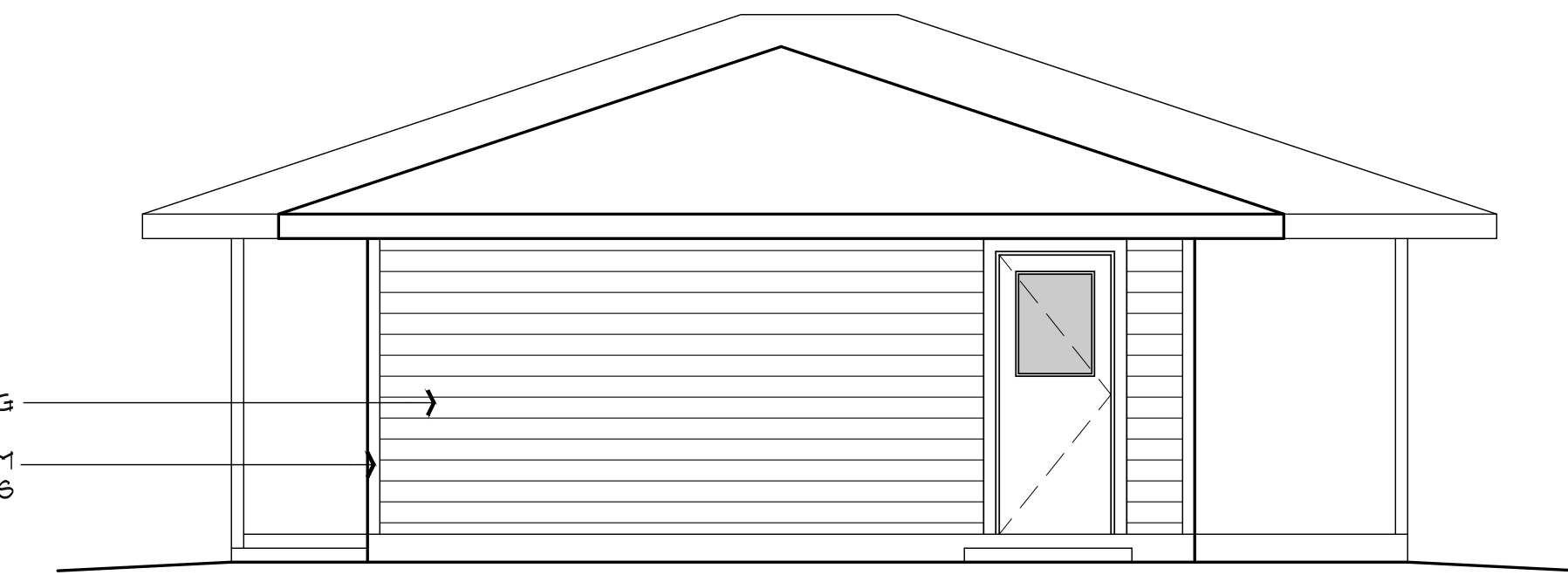
A-1.0

PROPERTY OF TOWN OF SNOWFLAKE, AZ



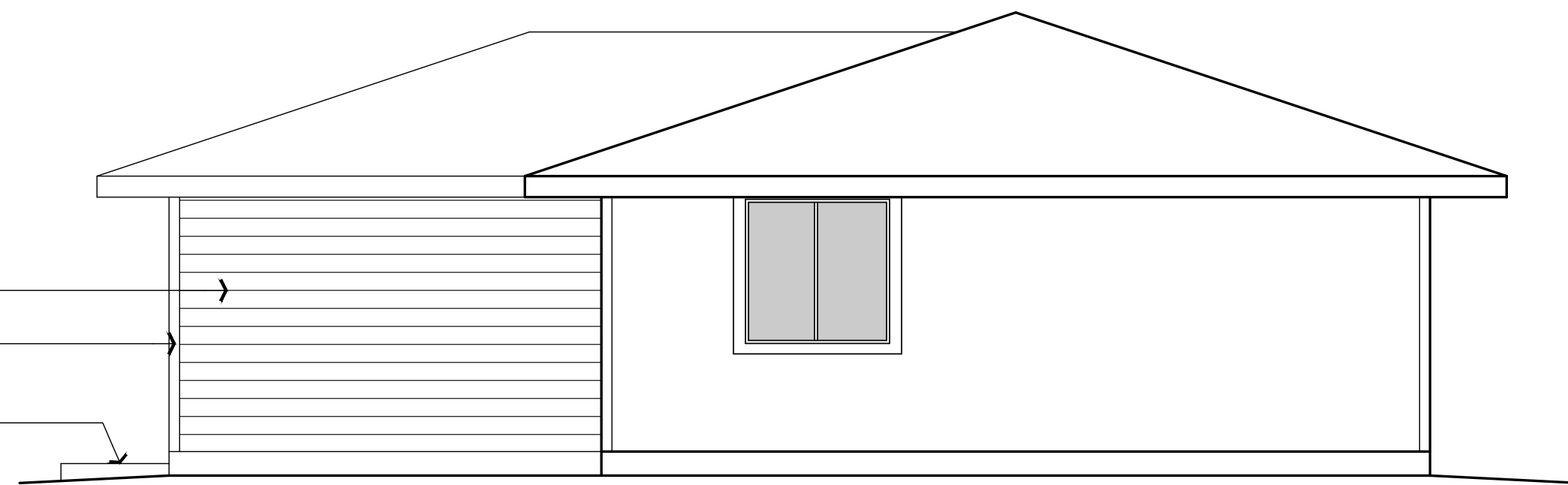
ALTERNATE GARAGE - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE - RIGHT SIDE ELEVATION

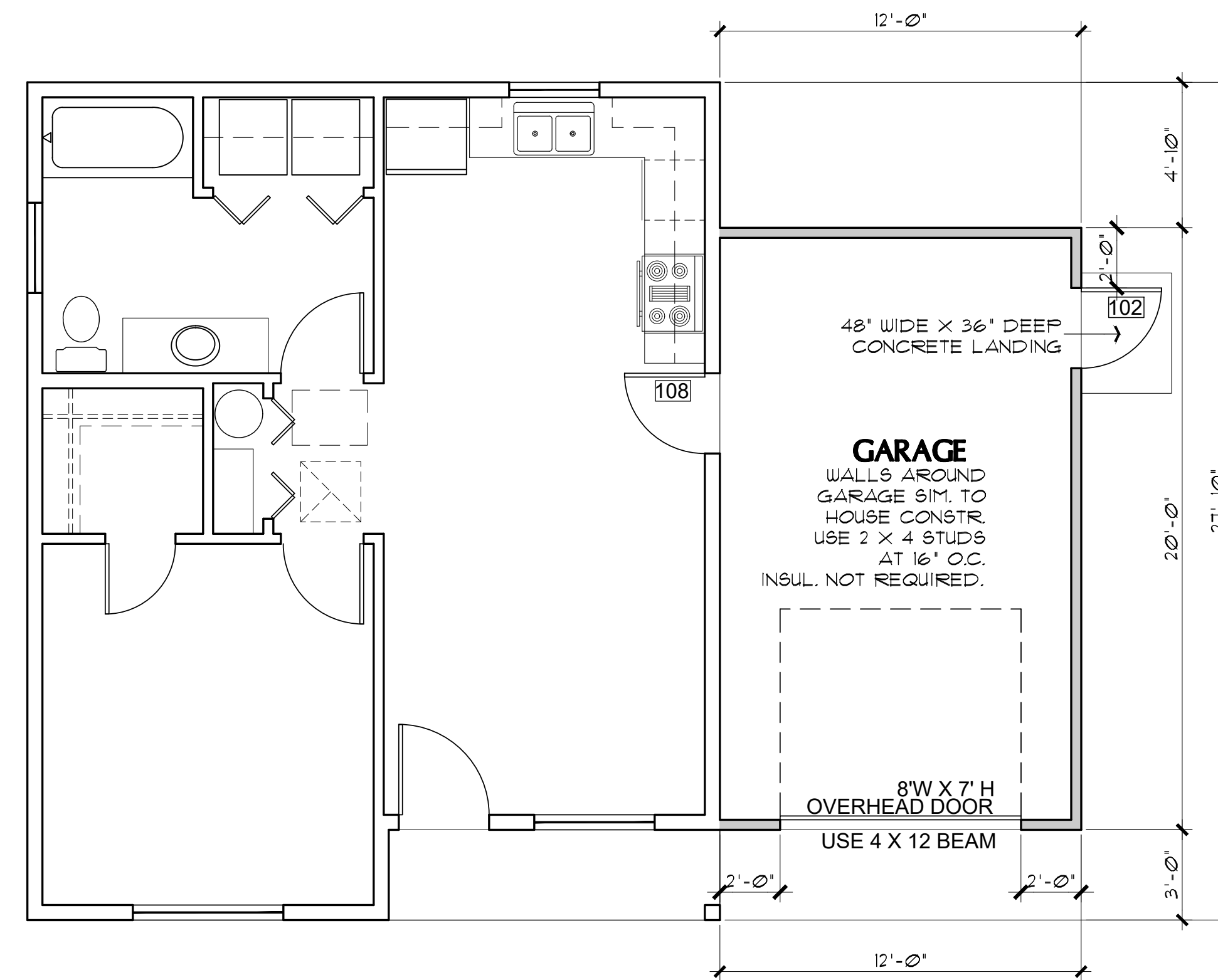
SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE - REAR ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: STUCCO MAY BE USED IN LIEU OF THE HORIZ. SIDING. PROVIDE A WEEP SCREED AT THE BASE OF THE STUCCO AT THE EXTERIOR.



ALTERNATE GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

1BDRM/1BA
Job no. : RIGHT PARKING
Date : 06/16/2026
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

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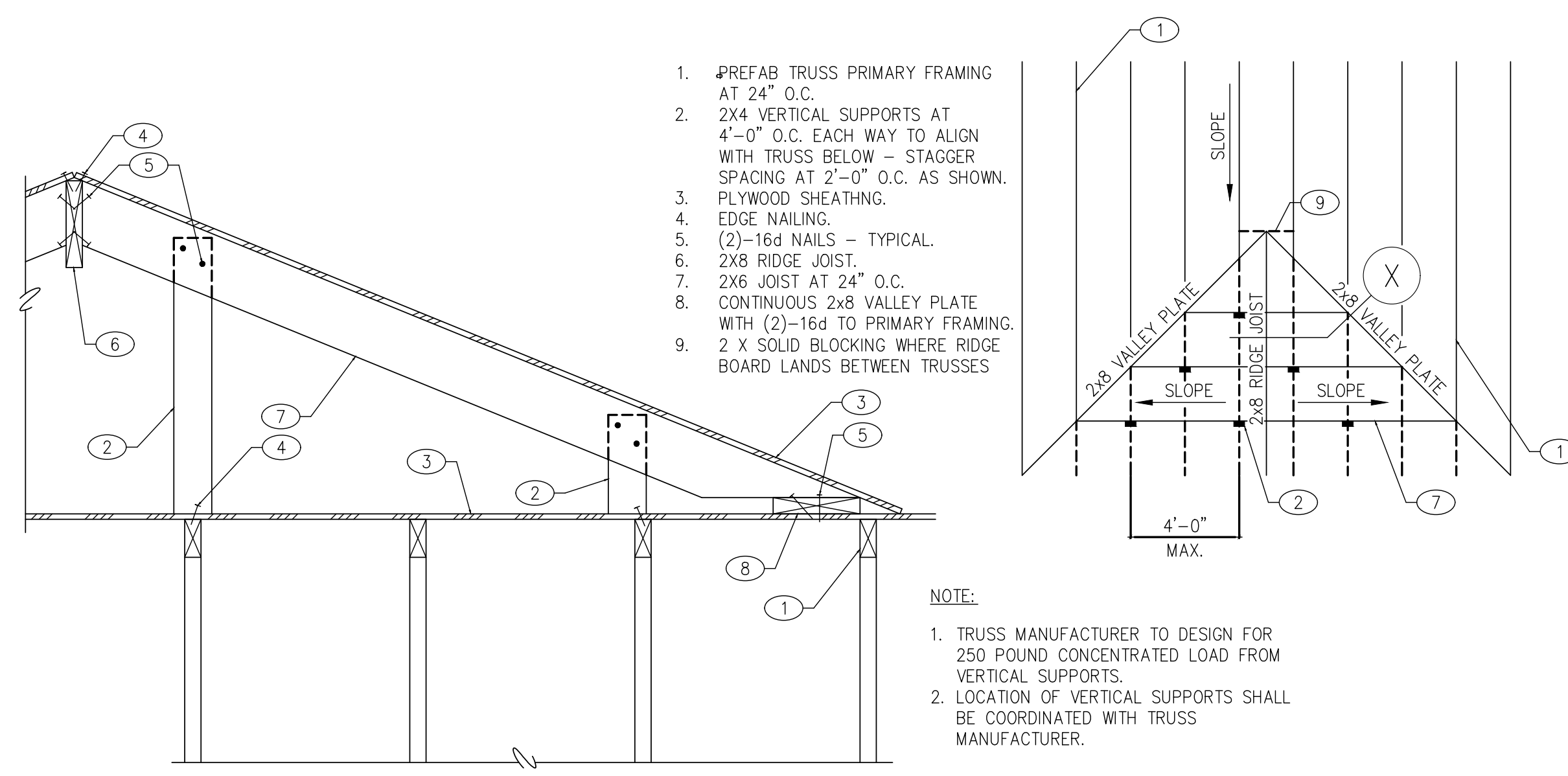


Mark Rogers, Architect, PLLC

761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
architect914@cableone.net

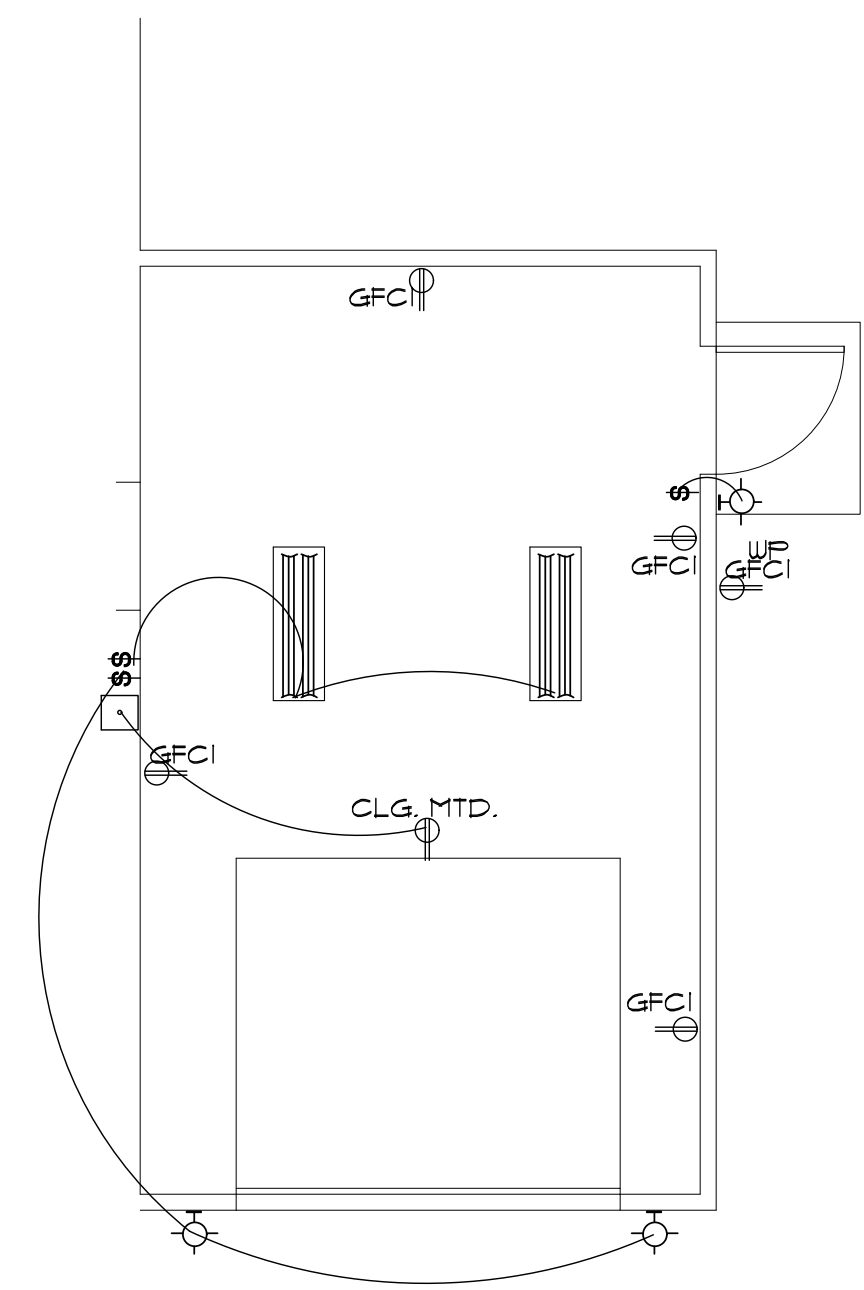
PROPERTY OF TOWN OF SNOWFLAKE, AZ

PROPERTY OF TOWN OF SNOWFLAKE, AZ



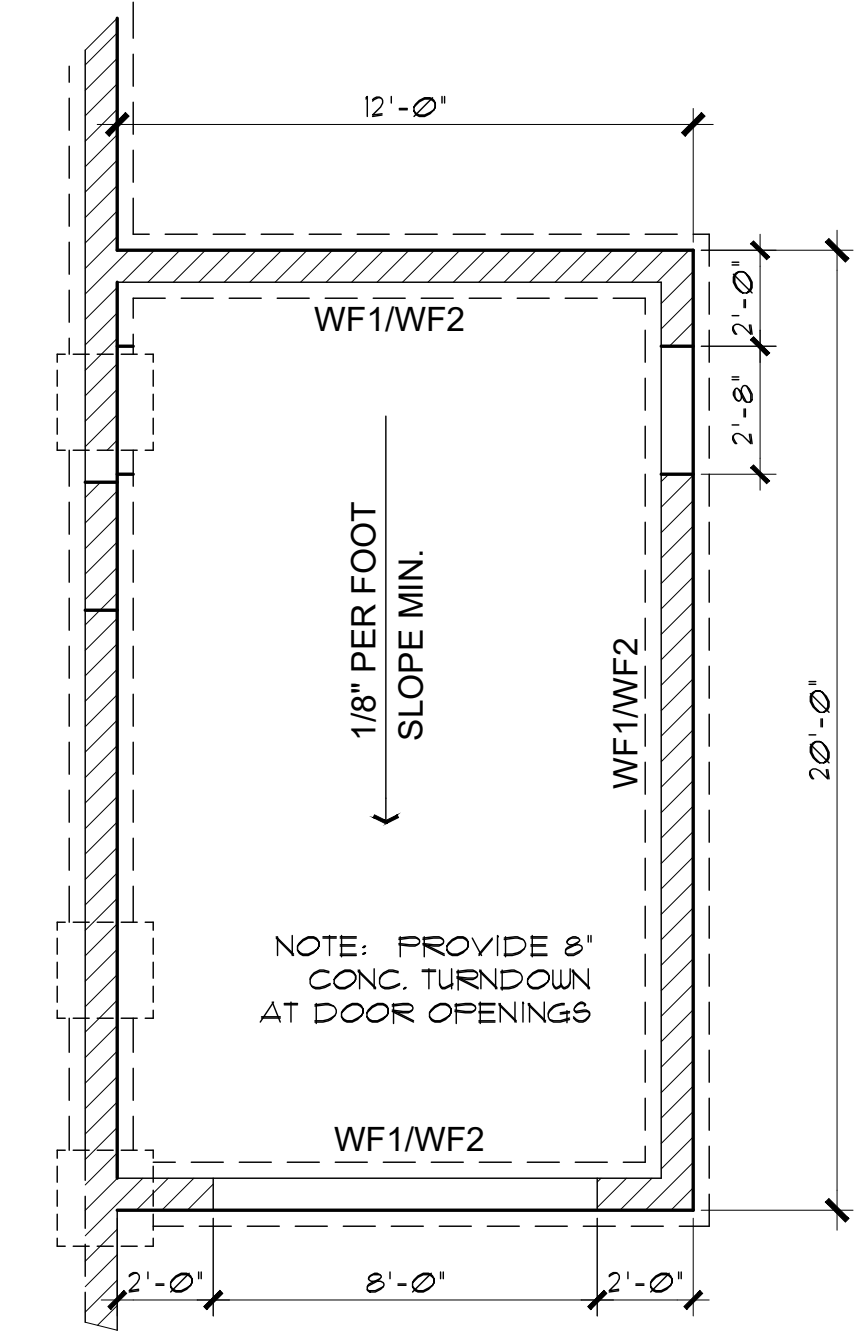
1 TYPICAL VALLEY TRUSS OVERFRAME DETAIL

SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



ALTERNATE GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

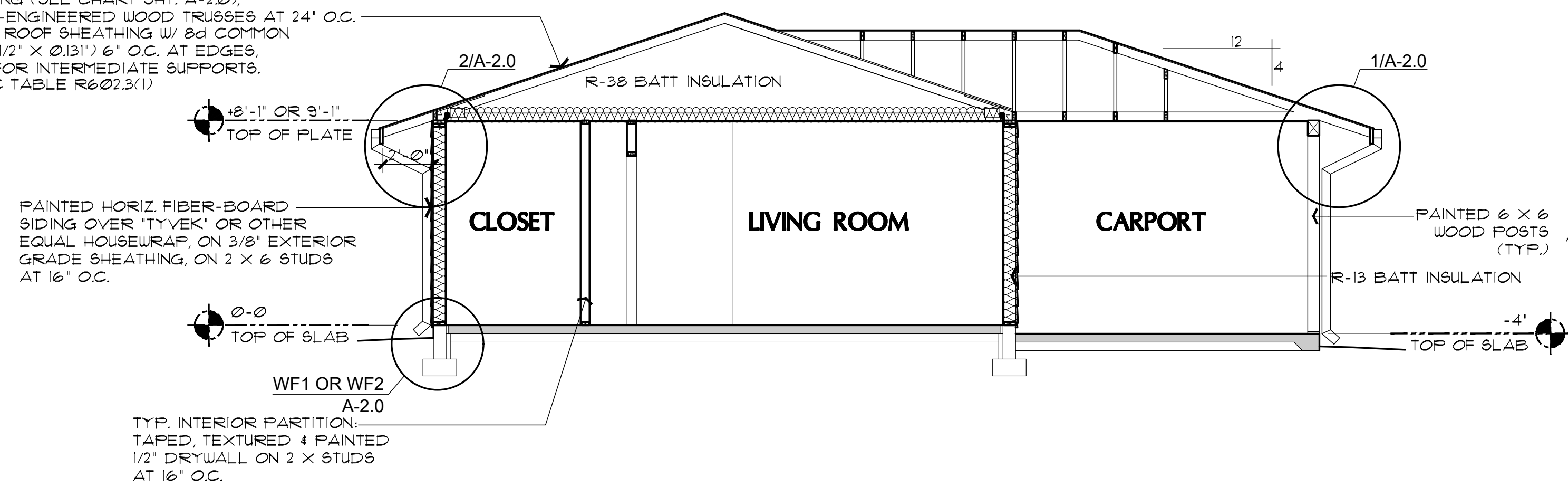
ALTERNATE GARAGE PLAN / ELEVATIONS
1 BEDROOM / 1 BATH - RIGHT PARKING

SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH,
SNOWFLAKE, AZ 85937

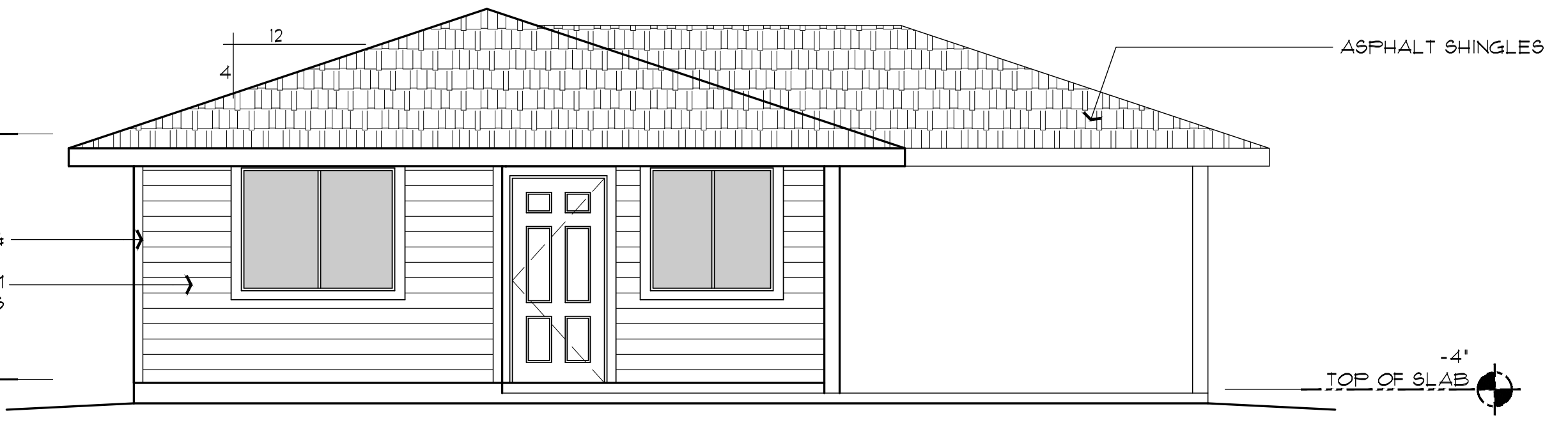
SHEET NO:
A-1.1

ASPHALT SHINGLES OVER 15" FELT, ON EXT. GRADE FLYWOOD SHEATHING (SEE CHART 9HT, A-2.0), ON PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. ATTACH ROOF SHEATHING W/ 8d COMMON NAIL (2 1/2" x 0.131") @ 6" O.C. AT EDGES, 12" O.C. FOR INTERMEDIATE SUPPORTS, PER IRC TABLE R602.3(1)



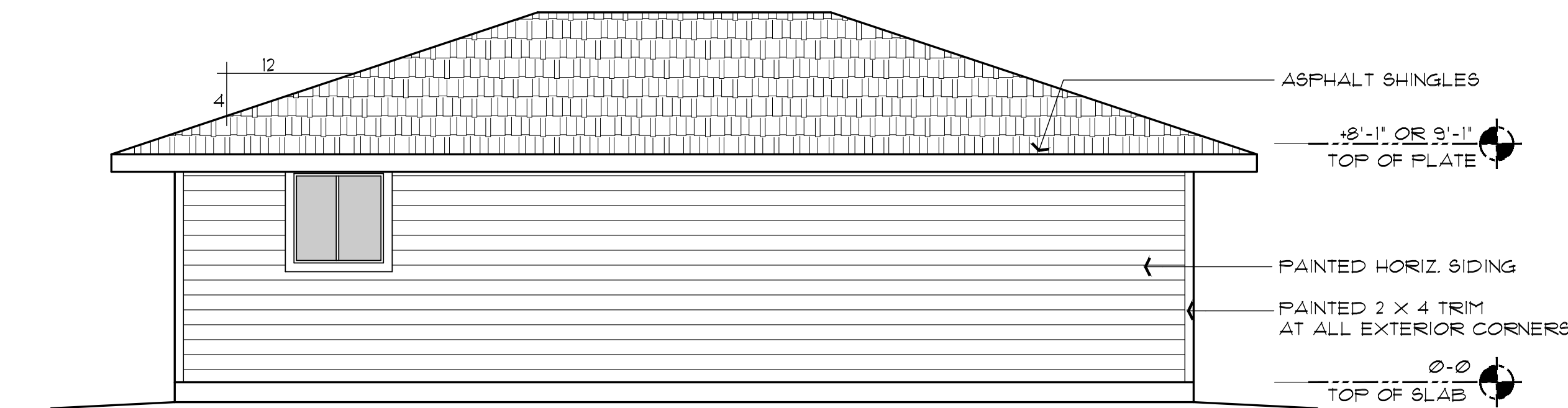
A BUILDING CROSS SECTION

SCALE: 1/4" = 1'-0"



HIP ROOF FRONT ELEVATION - HORIZ. SIDING OPTION

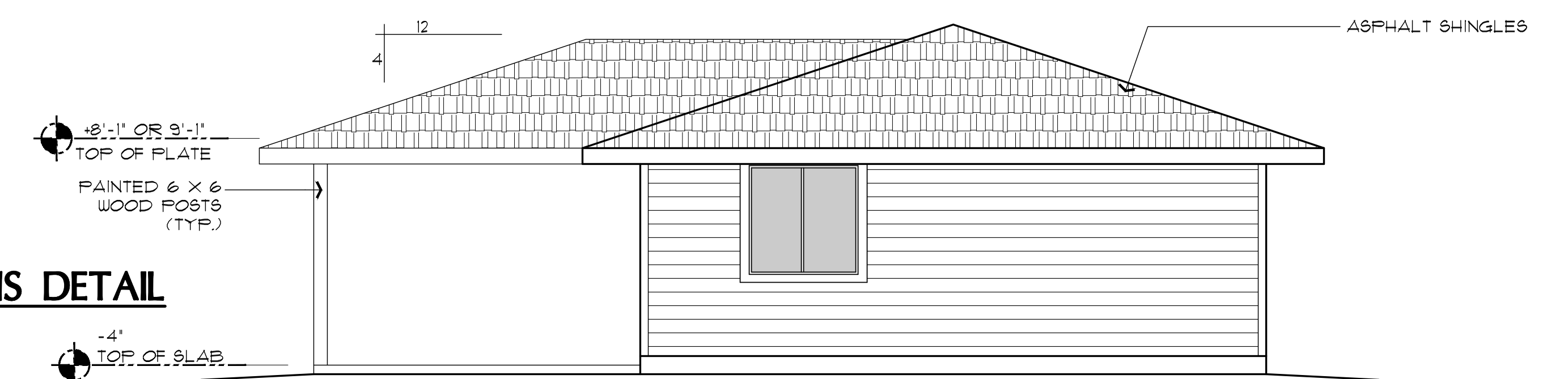
SCALE: 1/4" = 1'-0"



HIP ROOF LEFT SIDE ELEVATION - HORIZ. SIDING OPTION

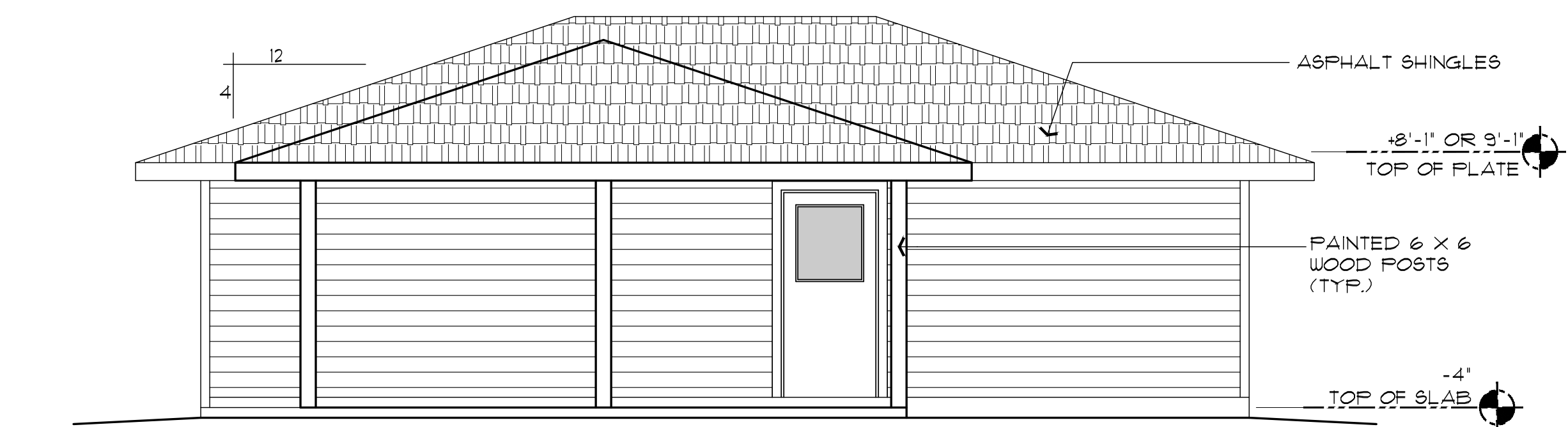
SCALE: 1/4" = 1'-0"

NOTE: STUCCO MAY BE USED IN LIEU OF THE HORIZ. SIDING. PROVIDE A WEEP SCREED AT THE BASE OF THE STUCCO AT THE EXTERIOR.



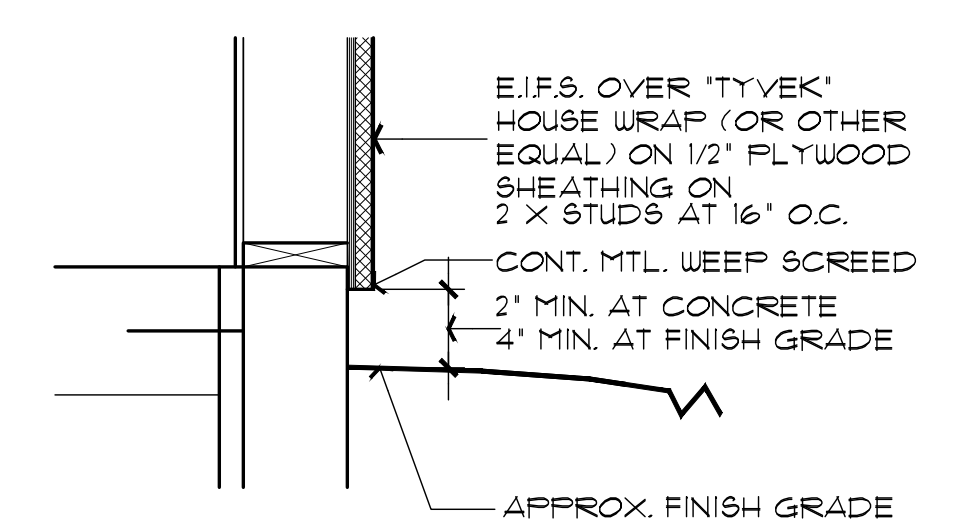
HIP ROOF REAR ELEVATION - HORIZ. SIDING OPTION

SCALE: 1/4" = 1'-0"



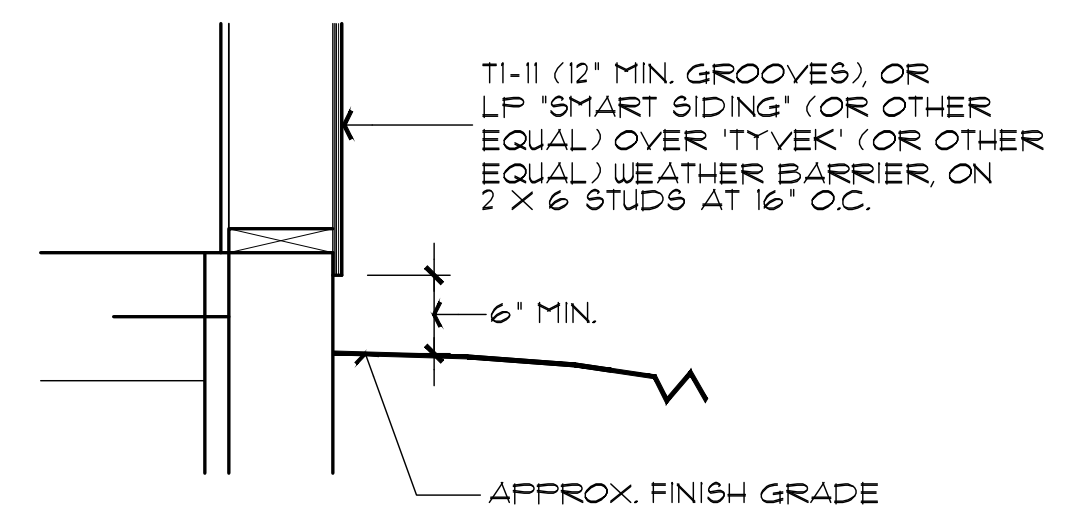
HIP ROOF RIGHT SIDE ELEVATION - HORIZ. SIDING OPTION

SCALE: 1/4" = 1'-0"



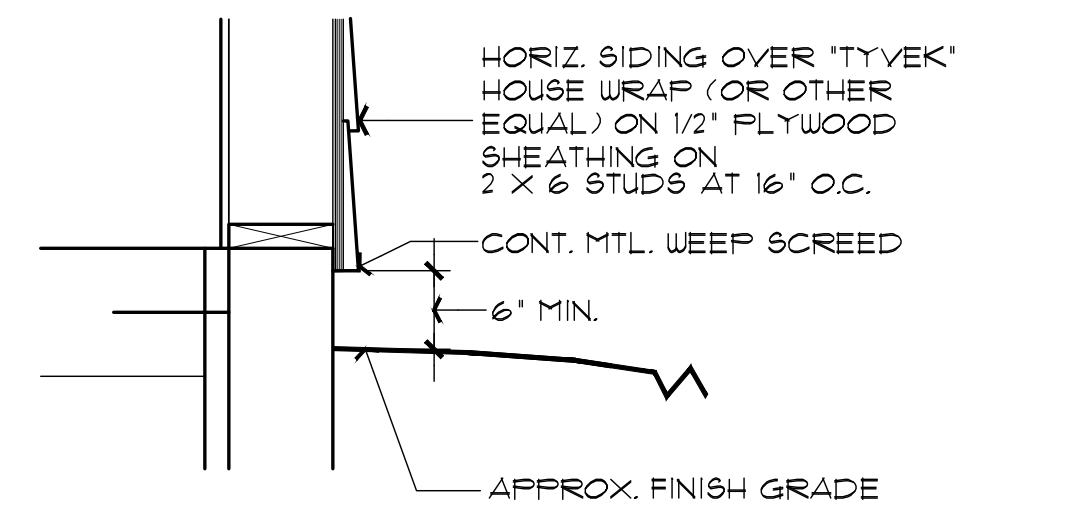
1 STUCCO BASE DETAIL

NO SCALE



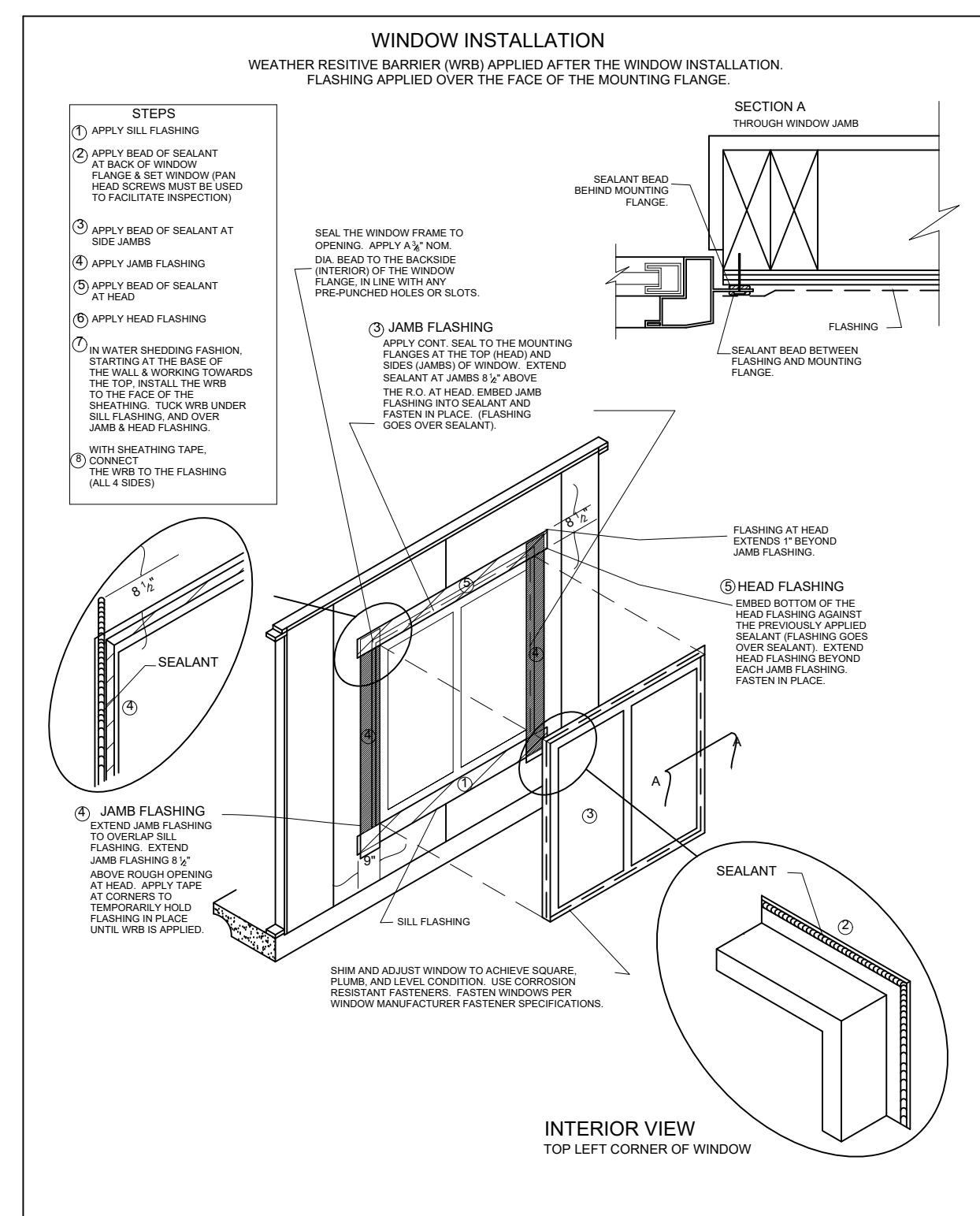
2 T1-11, OR "SMART SIDING" OPTIONS DETAIL

NO SCALE



3 HORIZ. SIDING OPTION DETAIL

NO SCALE



1BDRM/1BA
Job no. : RIGHT PARKING
Date : 06/16/2026
Drawn by : MFR
Chk'd by : MFR
Scale : AS NOTED
Revisions:

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761 Highland Circle
Chino Valley, Arizona 86323
Phone: (928) 848-3516
architect@cablone.net

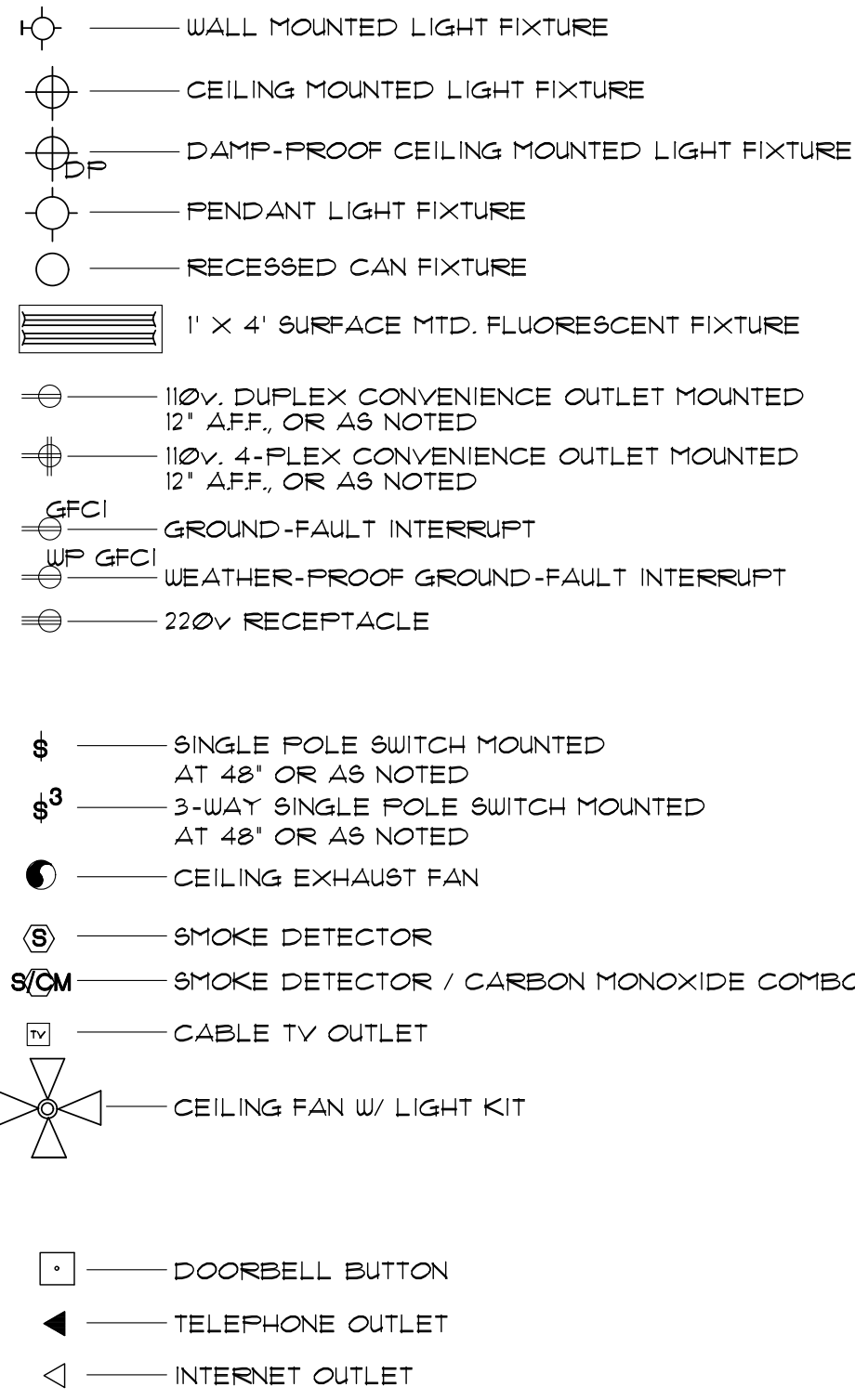
EXTERIOR ELEVATIONS
1 BEDROOM / 1 BATH - RIGHT PARKING
SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH,
SNOWFLAKE, AZ 85937

SHEET NO:

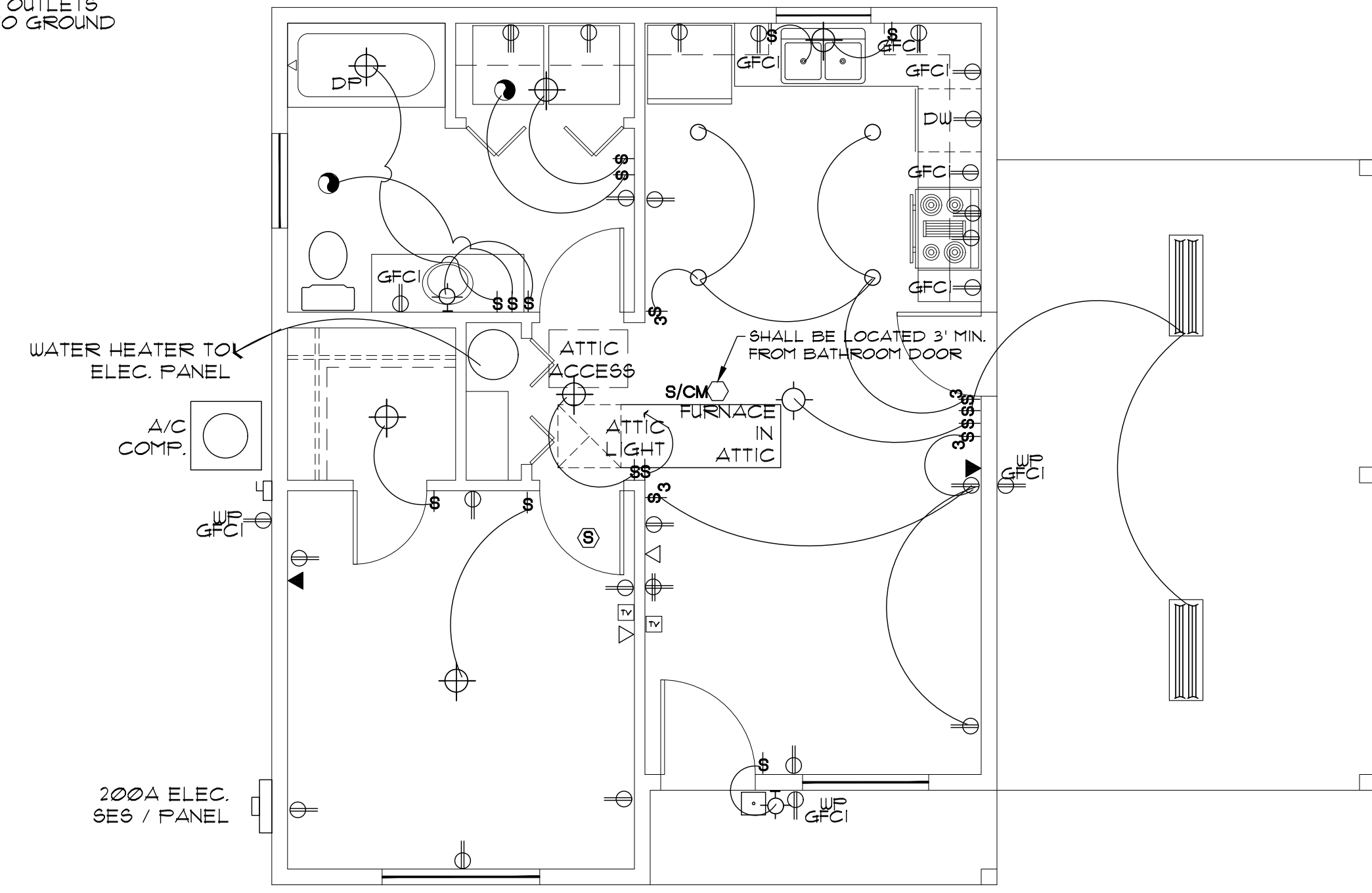
A-3.0

ELECTRICAL SYMBOLS



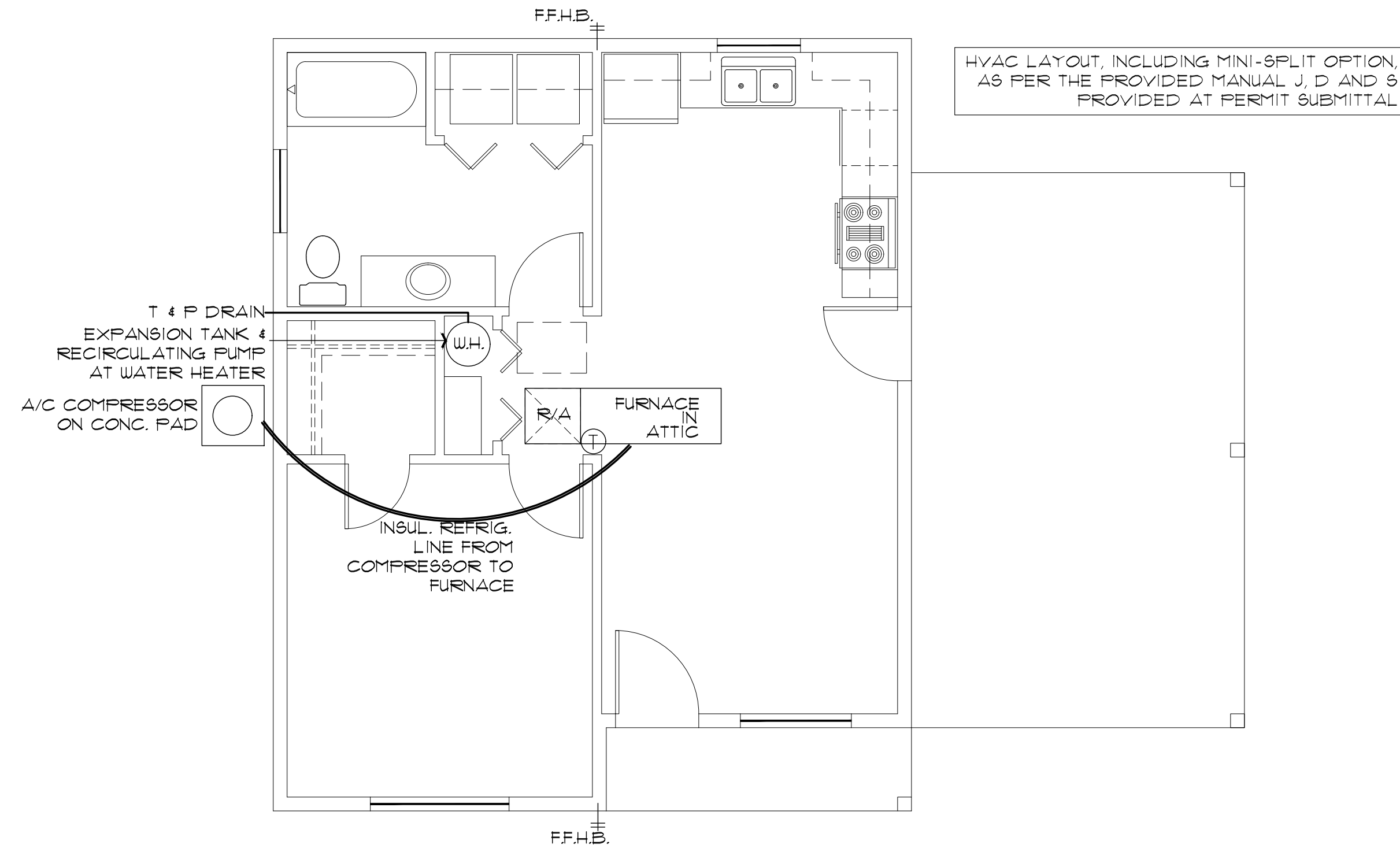
ELECTRICAL GENERAL NOTES

- 1. ALL WORKSMANSHIP, MATERIALS, AND METHODS SHALL CONFORM TO N.E.C. 2017 EDITIONAL... 2. ALL HABITABLE ROOMS SHALL BE PROVIDED W/ ELECTRICAL OUTLETS... 3. ALL RECEPTABLES IN BATHROOMS, OUTSIDE 4' WITHIN 6' OF WATER SOURCE SHALL BE GFCI.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



HVAC PLAN

SCALE: 1/4" = 1'-0"

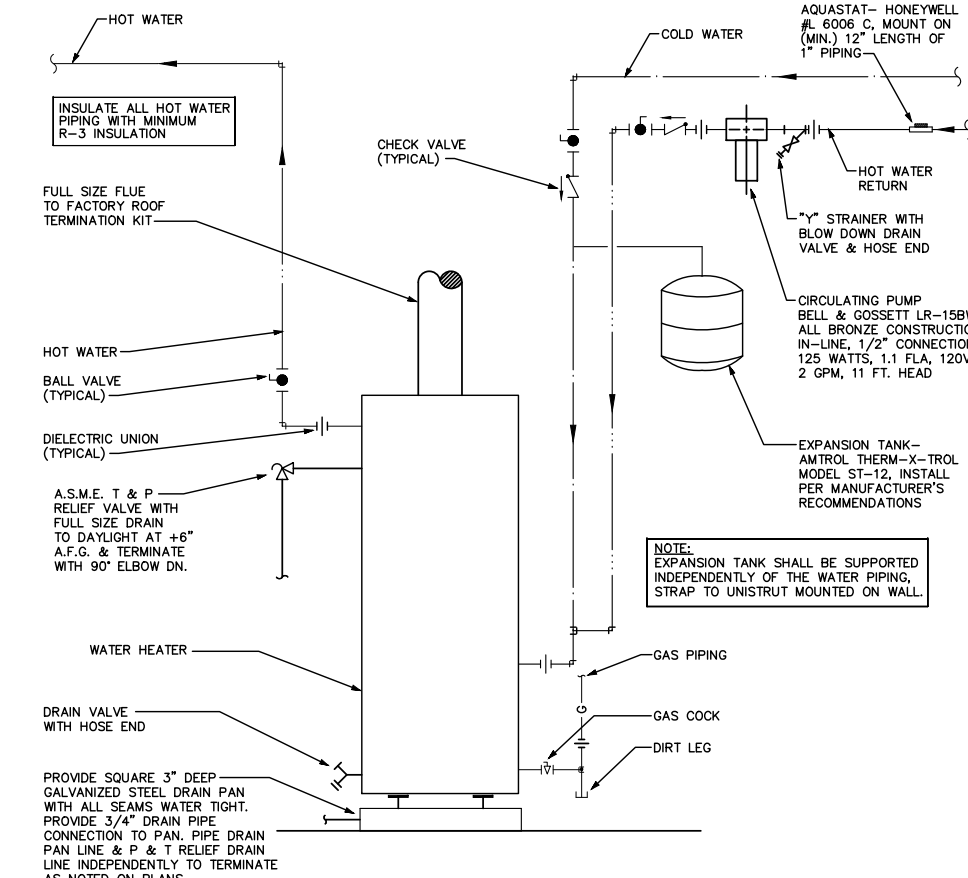
HVAC/PLUMBING GENERAL NOTES:

- 1. THE MECHANICAL CONTRACTOR SHALL DETERMINE THE FINAL EQUIPMENT SIZING, DUCT SIZING, AND DUCT LAYOUT PRIOR TO INSTALLATION. 2. DRAIN AND VENT SIZES TO BE DETERMINED BY PLUMBING CONTRACTOR.

MAIN HOUSE LOAD CALC'S table with columns for appliance, wattage, and load calculations.

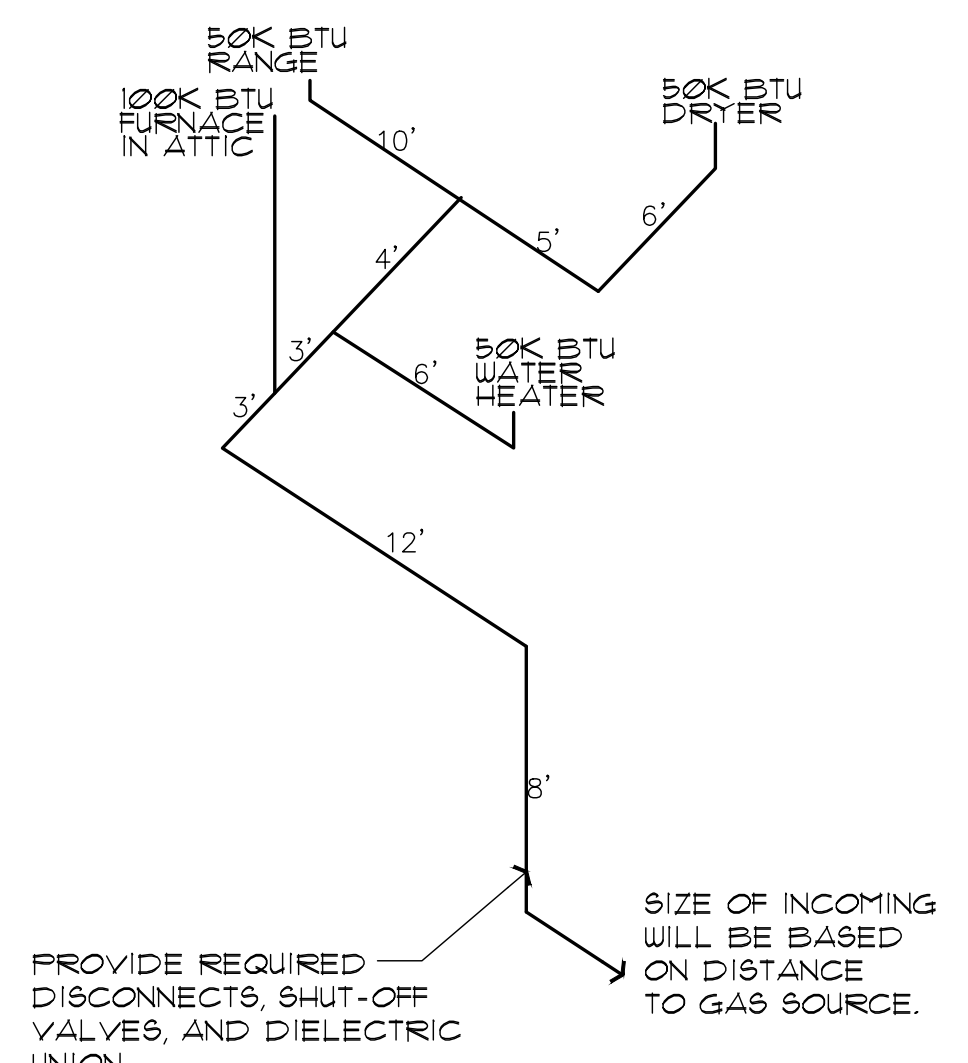
GAS WATER HEATER OPTION

NO SCALE

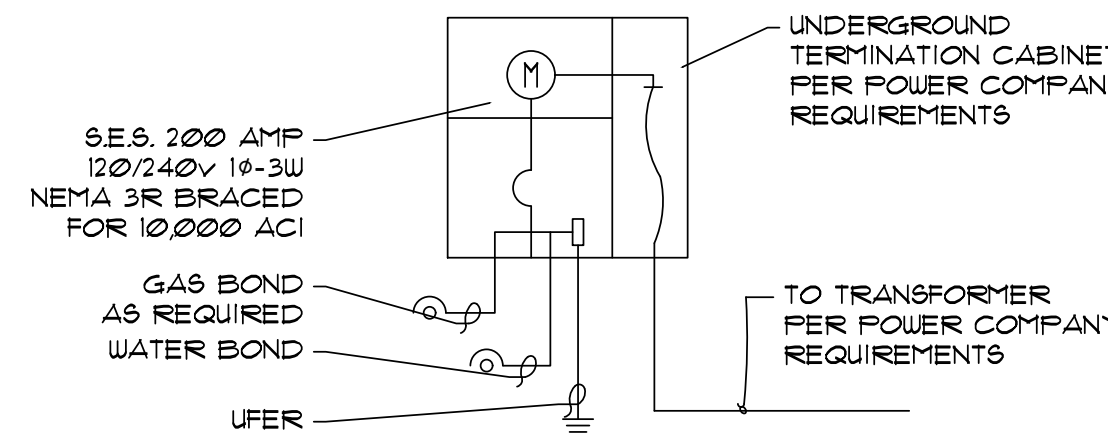


GAS PIPING ISOMETRIC

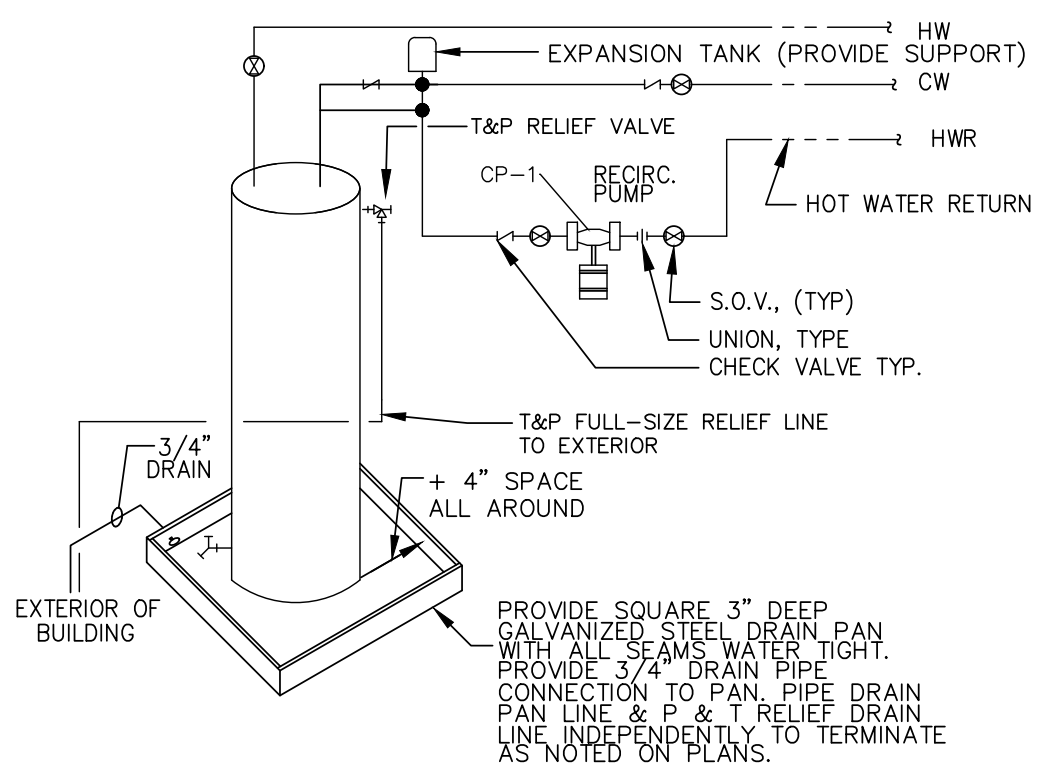
NO SCALE



NOTE: PLUMBING CONTRACTOR SHALL VERIFY ALL GAS PIPING SIZING... THE PLUMBING CONTRACTOR SHALL VERIFY ALL SIZING, AND FITTINGS, PRIOR TO INSTALLATION.



NEW 200 AMP 120/240V1Ø3W NEMA 3R SES BRACED FOR 10000 AIC



ELECTRIC WATER HEATER

NO SCALE

Job no.: 1BDRM/1BATH RIGHT PARKING Date: 06/16/2026 Drawn by: MFR Chk'd by: MFR Scale: AS NOTED Revisions:



Mark Rogers, Architect, PLLC

761 Highland Circle Chino Valley, Arizona 86323 Phone: (928) 848-3516 architect914@cableone.net

ELECTRICAL / HVAC PLANS SYMBOL SCHEDULE / NOTES 1 BEDROOM / 1 BATH - RIGHT PARKING SNOWFLAKE, ARIZONA

81 WEST 1ST STREET SOUTH, SNOWFLAKE, AZ 85937

SHEET NO:

ME-1